



AGENDA

Regular Council Meeting

June 12, 2018

6:00 pm

Council Chambers, Town Hall

Pages

- 1. CALL TO ORDER**
- 2. DECLARATIONS OF PECUNIARY INTEREST**
- 3. AMENDMENTS AND APPROVAL OF AGENDA**

RECOMMENDATION

THAT the June 12, 2018 regular Council meeting agenda be accepted as presented.

- 4. PUBLIC INPUT PERIOD**

(Information provided during the Public Input Period shall be directed by the public to Council members and shall deal with matters specific to Agenda business. A maximum of two (2) minutes per person is allotted for questions, and the maximum time allotted for the Public Input Period as a whole is ten (10) minutes)

- 5. DELEGATIONS, PRESENTATIONS, AND PUBLIC MEETINGS**

- 5.1 Public Meeting for the Removal of Holding Symbol for Lots 30, 31, 32 and 33 Plan 44M-64 (Emily Street)**

Please see staff report DEV 25-2018 for further information.

RECOMMENDATION

THAT the June 12, 2018 regular Council meeting be adjourned at ____pm to hold a statutory public meeting as required under the *Planning Act*; and

THAT a Public Meeting to consider a planning application to remove a holding symbol for Lots 30, 31, 32 and 33, Plan 44M-64 (Emily Street) St. Marys be opened at ____pm.

RECOMMENDATION

THAT this public meeting be adjourned at ____pm; and

THAT the June 12, 2018 regular Council meeting reconvene at ____pm.

5.2 United Way Perth Huron re: Understanding and Addressing Local Needs 13

RECOMMENDATION

THAT the presentation from United Way Perth Huron regarding Understanding and Addressing Local Needs be received.

5.3 Kevin Luckhardt re: Traffic and Parking By-law 20

RECOMMENDATION

THAT the delegation from Kevin Luckhardt regarding the proposed Traffic and Parking By-law be received.

6. ACCEPTANCE OF MINUTES

6.1 Regular Council - May 22, 2018 27

RECOMMENDATION

THAT the May 22, 2018 regular Council meeting minutes be approved and signed and sealed by the Mayor and the Clerk.

6.2 Special Meeting of Council - May 23, 2018 45

RECOMMENDATION

THAT the May 23, 2018 special meeting of Council minutes be approved and signed and sealed by the Mayor and the Clerk.

6.3	Special Meeting of Strategic Priorities Committee - May 28, 2018	48
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RECOMMENDATION

THAT the May 28, 2018 special meeting of the Strategic Priorities Committee minutes be approved and signed and sealed by the Mayor and the Clerk.

7. CORRESPONDENCE

7.1	Herman Veenendaal re: Fireworks	51
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RECOMMENDATION

THAT the correspondence from Herman Veenendaal regarding fireworks be received.

7.2	CN re: CN in your Community Publication	52
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RECOMMENDATION

THAT the correspondence from CH regarding the 2018 edition of CN in your Community publication be received.

7.3	Stratford General Hospital Foundation re: Acknowledgement of Donation	54
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RECOMMENDATION

THAT the correspondence from Stratford General Hospital Foundation regarding an acknowledgement of donation be received.

7.4	Alcohol and Gaming Commission of Ontario re: Notice of Extension of Hours for 2018 FIFA World Cup	55
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RECOMMENDATION

THAT the correspondence from the Alcohol and Gaming Commission of Ontario regarding Notice of Extended Hours of Service during the 2018 FIFA World Cup be received.

8. STAFF REPORTS

8.1 Building and Development Services

- 8.1.1 DEV 24-2018 Site Plan Agreement, 121 Ontario Street South, Rick Murphy Holdings Ltd 56**

RECOMMENDATION

THAT DEV 24-2018 Site Plan Agreement, 121 Ontario Street South, Rick Murphy Holdings Ltd. be received; and

THAT Council authorize Mayor and Clerk on behalf of the Town of St. Marys to enter into a Site Plan Agreement between the Town of St. Marys and Rick Murphy Holdings Ltd; and

THAT Council enact By-law 59-2018 authorizing the Mayor and the Clerk to sign a Site Plan Agreement with Rick Murphy Holdings Ltd.

- 8.1.2 DEV 25-2018 Application for Removal of Holding Symbols (Z05-2017)247, 243, 239 & 235 Emily Street Lots 30, 31, 32 & 33, Registered Plan 44M-64Town of St. Marys 82**

RECOMMENDATION

THAT DEV 25-2018 Application for Removal of Holding Symbols (Z05-2017) be received; and

THAT Council enact Zoning By-law Z126-2018 to remove the Holding “H” symbols only from the properties known as 247, 243 and 239 Emily Street (Lots 30, 31 & 32 of Plan 44M-64).

- 8.1.3 DEV 26-2018 Request for Sign Variance (6 Jones Street East) 99**

RECOMMENDATION

THAT DEV 26-2018 Request for Sign By-law Variance (6 Jones Street East) report be received; and,

THAT Council does not approve a variance to the Town of St. Marys Sign By-Law for 6 Jones Street East.

8.2 Administration and Human Resources

8.2.1 CAO 22-2018 Prohibit and Regulate Activities at St. Marys Quarries By-law 105

RECOMMENDATION

THAT CAO 22-2018 Prohibit and Regulate Activities at St. Marys Quarries By-law be received; and

THAT Council approve By-Law 57-2018, being a by-law to prohibit and regulate activities at the St. Marys Quarries.

8.3 Corporate Services

8.3.1 COR 16-2018 Video Surveillance Policy 108

RECOMMENDATION

THAT COR 16-2018 Video Surveillance Policy be received; and

THAT By-law 60-2018 being a by-law to approve a Municipal Video Surveillance Policy be approved.

8.4 Community Services

8.4.1 DCS 12-2018 Follow-Up: Pickleball Courts on the Tennis Courts 125

RECOMMENDATION

THAT DCS 12-2018 Follow-Up: Pickleball Courts on Tennis Courts be received, and

THAT Council approve Recreation and Leisure Master Plan recommendation #48; and

THAT Staff be directed to create two multi-purpose courts out of the Town's existing tennis courts to allow for pickleball play based on the common agreement described in staff report DCS 12-2018.

8.4.2	DCS 13-2018 Home Support Services Declaration of Compliance	131
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RECOMMENDATION

THAT DCS 13- 2018 Home Support Services Declaration of Compliance be received; and,

THAT Council authorize the Chief Administrative Officer to sign the South West Local health Integration Network Declaration of Compliance for the reporting period of April 1, 2017 to March 31, 2018.

8.5 Public Works

8.5.1	PW 36-2018 Industrial Waste Surcharge Program	135
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RECOMMENDATION

THAT Report PW 36-2018 Industrial Waste Surcharge Program be received; and

THAT Council direct Staff to proceed with the Industrial Waste Surcharge Program transition.

RECOMMENDATION

THAT PW 32-2018 Traffic, Parking and Boulevard Maintenance By-law report be received; and,

THAT Council approve the following recommendations from the Strategic Priorities Committee:

1. THAT the Traffic By-law be adopted to implement a reduced speed school zone on James Street South in the area of DCVI; and
2. THAT the Traffic By-law be amended to extend the Community Safety Zone on James Street South from Elgin Street to the southern entrance to the Pyramid Recreation Centre; and
3. THAT the Victoria Bridge and Church Street Bridge not be load posted at this time; and
4. THAT the Town not pursue a ban on external to external truck traffic; and
5. THAT staff continue to focus on implementing traffic safety and calming solutions that will result in an overall improvement in the safe use of Town roadways by all vehicles; and
6. THAT the proposed amendments related to the administrative review of the existing Traffic By-law provisions conducted for the August 15, 2017 Strategic Priorities Committee meeting be approved; and

THAT \$15,000 be allocated for required signage changes from the road reserve fund; and

THAT By-Law 57-2018, Traffic, Parking and Boulevard Maintenance By-law, be approved for enactment on November 1, 2018..

9. COUNCILLOR REPORTS

9.1 Operational and Board Reports

9.1.1 Bluewater Recycling Association - Coun. Craigmile 171

RECOMMENDATION

THAT the May 17, 2018 Bluewater Recycling Association Board of Directors meeting highlights be received.

9.1.2 Library Board - Coun. Osborne, Winter

9.1.3 Municipal Shared Services Committee - Mayor Strathdee, Coun. Winter

9.1.4 Perth District Health Unit - Coun. Osborne 184

RECOMMENDATION

THAT the April 18, 2018 Perth District Health Unit Board meeting minutes be received; and

THAT the May 16, 2018 Perth District Health Unit Board agenda be received.

9.1.5 Spruce Lodge Board - Coun. Pope, Van Galen 194

RECOMMENDATION

THAT the April 18, 2018 Spruce Lodge Board of Management meeting minutes be received.

9.1.6 Upper Thames River Conservation Authority 197

RECOMMENDATION

THAT the Upper Thames River Conservation Authority Board of Directors' minutes be received.

9.2 Advisory and Ad-Hoc Committee Reports

9.2.1 Accessibility Advisory Committee - Coun. Hainer

RECOMMENDATION

THAT the May 30, 2018 Accessibility Advisory Committee meeting draft minutes be received.

9.2.2	Business Improvement Area - Coun. Pope	204
	RECOMMENDATION	
	THAT the April 9, 2018 Business Improvement Area minutes be received.	
9.2.3	CBHFM - Coun. Hainer	210
	RECOMMENDATION	
	THAT the April 27, 2018 Canadian Baseball Hall of Fame and Museum Board minutes be received.	
9.2.4	Committee of Adjustment	
	No recent meeting.	
9.2.5	Community Policing Advisory Committee - Mayor Strathdee, Coun. Van Galen	213
	RECOMMENDATION	
	THAT the May 23, 2018 Community Policing Advisory Committee meeting minutes be received.	
9.2.6	Economic Development Committee - Coun. Pope	216
	RECOMMENDATION	
	THAT the May 30, 2018 Economic Development Advisory Committee draft minutes be received.	
9.2.7	Heritage St. Marys - Coun. Pope	219
	RECOMMENDATION	
	THAT the May 12, 2018 Heritage St. Marys meeting draft minutes be received.	
9.2.8	Museum Board - Coun. Winter	226
	RECOMMENDATION	
	THAT the May 9, 2018 St. Marys Museum Board meeting draft minutes be received.	

9.2.9	Planning Advisory Committee - Coun. Craigmile, Van Galen	228
	RECOMMENDATION	
	THAT the May 28, 2018 Planning Advisory Committee meeting minutes be received; and	
	THAT item 4.0 be raised for discussion.	
9.2.9.1	Recommendation to Proceed to Statutory Public Meeting	
	RECOMMENDATION	
	THAT Council proceeds with the statutory public meeting for Application Z01-2018, 45 Thames Road North, on June 26, 2018 at 6:00pm.	
9.2.10	Heritage Conservation District Advisory Committee - Coun. Winter	232
	RECOMMENDATION	
	THAT the May 14, 2018 Heritage Conservation District Advisory Committee meeting minutes be received; and	
	THAT the May 23, 2018 Heritage Conservation District Advisory Committee meeting draft minutes be received.	
9.2.11	Senior Services Board - Coun. Craigmile	238
	RECOMMENDATION	
	THAT the April 17, 2018 Senior Services Board minutes be received; and	
	THAT the May 15, 2018 Senior Services Board draft minutes be received.	
9.2.12	Huron Perth Healthcare Local Advisory Committee - Coun. Hainer	
9.2.13	St. Marys Lincolns Board - Coun. Craigmile	
9.2.14	St. Marys Cement Community Liaison Committee - Mayor Strathdee, Coun. Craigmile	

RECOMMENDATION

THAT the May 10, 2018 Ad-Hoc Committee for Truck Traffic Concerns meeting minutes be received.

10. EMERGENT OR UNFINISHED BUSINESS**11. NOTICES OF MOTION****12. BY-LAWS****RECOMMENDATION**

THAT By-Laws 56-2018 to 60-2018 and Z126-2018 be read a first, second and third time; and be finally passed and signed and sealed by the Mayor and the Clerk.

12.1	By-Law 56-2018 Authorize an Agreement with Ontario Clean Water Agency and to repeal By-Law 51-2018	245
12.2	By-Law 57-2018 Prohibit and Regulate Activities at St. Marys Quarries	246
12.3	By-Law 58-2018 Traffic, Parking and Boulevard Maintenance	251
12.4	By-Law 59-2018 Site Plan Agreement with Rick Murphy Holdings Ltd.	305
12.5	By-Law 60-2018 Video Surveillance Policy	306
12.6	By-Law Z126-2018 Remove Holding Symbols for 247, 243 and 239 Emily Street	307

13. UPCOMING MEETINGS

June 19, 2018 - 9:00am, Strategic Priorities Committee, Council Chambers

June 26, 2018 - 6:00pm, Regular Council, Council Chambers

14. CLOSED SESSION

RECOMMENDATION

THAT Council move into a session that is closed to the public at _____pm as authorized under the *Municipal Act*, Section 239(2)(c) a proposed or pending acquisition or disposition of land by the municipality or local board.

14.1 Minutes of May 8, 2018 CLOSED SESSION

14.2 Minutes of May 23, 2018 CLOSED SESSION

14.3 Minutes of May 28, 2018 CLOSED SESSION

14.4 CAO 23-2018 CONFIDENTIAL Enterprise Drive Land Sale

15. RISE AND REPORT

RECOMMENDATION

THAT Council rise from a closed session at _____pm.

16. CONFIRMATORY BY-LAW

309

RECOMMENDATION

THAT By-Law 61-2018, being a by-law to confirm the proceedings of June 12, 2018 regular Council meeting, be read a first, second and third time; and be finally passed and signed and sealed by the Mayor and the Clerk.

17. ADJOURNMENT

RECOMMENDATION

THAT this regular meeting of Council adjourn at _____ p.m.

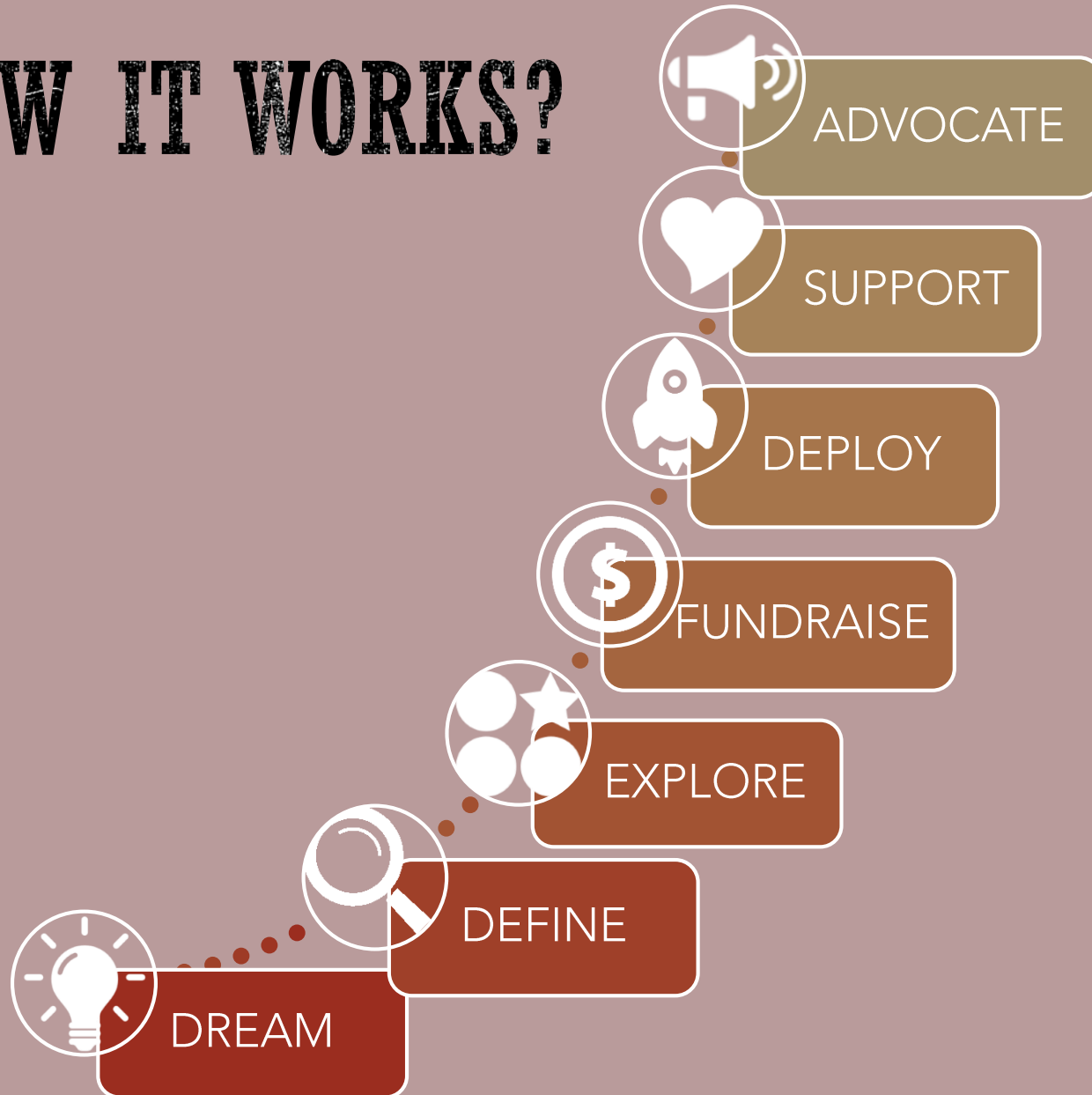
COMMUNITY BY COMMUNITY



Understanding and addressing local needs



HOW IT WORKS?



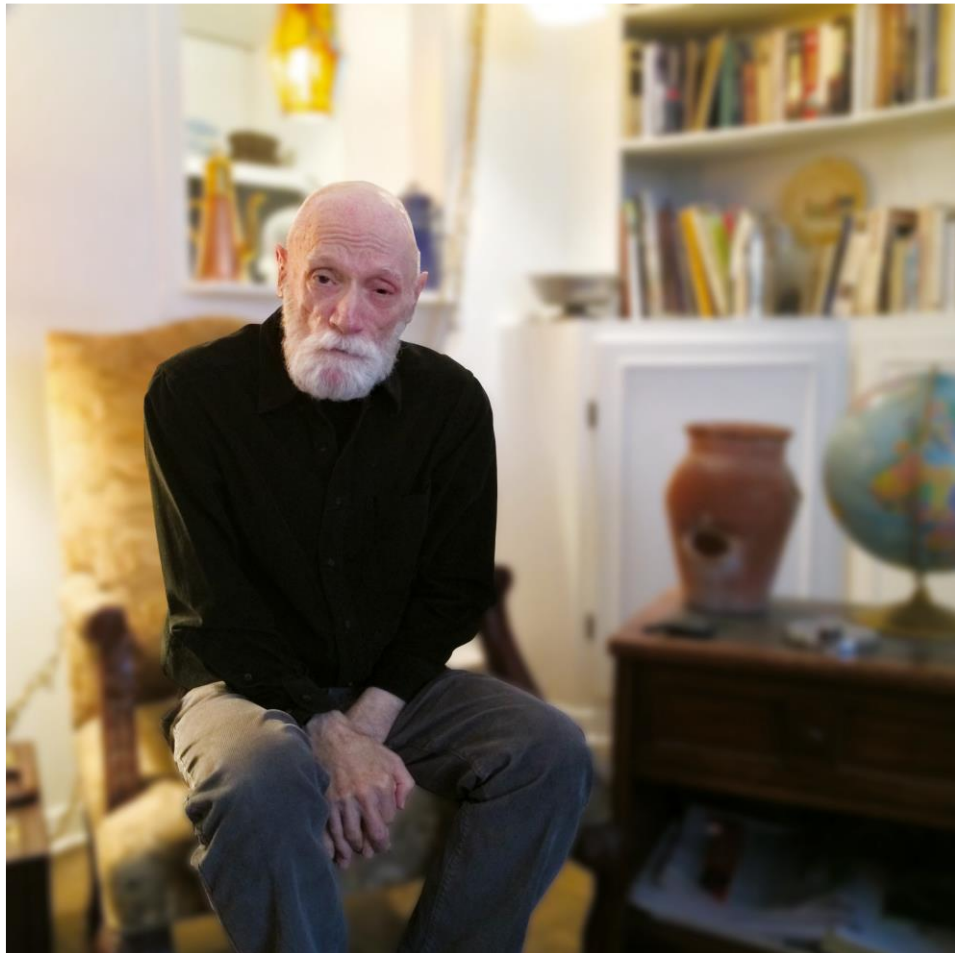
ST. MARYS COMMITTEE MEMBERS

- Ciaran Brennan
- Jennifer Morris
- Deb Hotchkiss
- Fern Pridham
- Brent Kittmer
- Kim Ross Jones
- John McGarry
- Paul L. Williams
- Marg McLean
- Pamela Zabel
- Jenny Mikita



PRIORITY

Social isolation



SOLUTION

Community Connector



PRIORITY

Unaffordable Living



SOLUTION

Food Access Market



May 31, 2018

Mayor Stratthdee and Members of St. Marys Town Council:

I have reviewed the proposed Traffic By-law and discussions provided in the Agenda and Minutes of the Strategic Priorities Committee meeting dated February 20, 2018.

I have concerns with the proposed Traffic By-law with respect to parking of heavy trucks in Town and how heavy truck parking required by individuals is not accommodated and in fact is prohibited extensively under the proposed by-law.

Section 3.3 of the proposed Traffic By-law provides parking restrictions for heavy vehicles as: no person shall park a heavy vehicle in a public parking lot; no person shall park a heavy vehicle in a municipal facility parking lot other than for the delivery of goods; no person shall park a heavy vehicle on a highway except for the delivery of goods or construction activities. Further restrictions within the by-law state that vehicles shall not park on any land owned by the Town including but not limited to playgrounds, trails, boulevard, recreation or public park or any utility right-of-way. The Town's Zoning By-law does not permit commercial trucks over 6.0m in length to park in residential driveways. To summarize, between the restrictions of the proposed Traffic By-law and the current Zoning By-law, there are no legal options left for those of us individuals who may commute home via a heavy truck and require suitable overnight parking.

The limitations on heavy truck parking in the proposed Traffic By-law will directly impact and interfere with activity required for my work. I am employed in sales and factory support and I commute home to St. Marys with the company heavy truck on occasion that requires overnight parking. For the past 10 years I have parked at the PRC and more specifically at the Kinsman Pavilion parking area to the rear of the PRC property. I am concerned that the Traffic By-law will eliminate all options for overnight parking that I require when I commute home with the company heavy truck.

I am requesting to come forward as a delegation to speak further to this matter at the Council meeting when the Traffic By-law is presented for consideration of approval, which I understand is scheduled to be the Council meeting of June 12, 2018. Further, I respectfully ask that Council does not pass the Traffic By-law as presented on June 12, 2018 until the matter of heavy truck parking has been reviewed to resolve the matters of concern.

Respectfully,

"Kevin Luckhardt" (signed)

Kevin Luckhardt
7 Meadowridge Court
St. Marys

June 2, 2018

Mayor Strathdee and Members of St. Marys Town Council:

I have requested to come forward as a delegation before you on June 12, 2018 for the purpose of speaking to concerns with the proposed Traffic By-law. The following is a summary of my concerns with respect to the proposed by-law and parking needs for heavy trucks.

I am employed in sales and factory support and I arrive home to St. Marys with a company heavy truck from time to time, be it on the way to a destination or upon my return. I require a suitable location for overnight parking for the truck on such occasion. For the past 10 years I have parked at the Pyramid Recreation Centre (PRC) and more specifically in the parking lot by the Kinsman Pavilion to the rear of the PRC. In reviewing the proposed Traffic By-law presented to the Strategic Priorities Committee in February 2018, it appears that the proposed Traffic By-law will eliminate my options when I require heavy truck parking. This will directly impact activity required for my work.

Section 3.3 of the proposed Traffic By-law provides parking restrictions for heavy vehicles as: no person shall park a heavy vehicle in a public parking lot; no person shall park a heavy vehicle in a municipal facility parking lot other than for the delivery of goods; no person shall park a heavy vehicle on a highway except for the delivery of goods or construction activities. Further restrictions within the by-law state that vehicles shall not park on any land owned by the Town including but not limited to playgrounds, trails, boulevard, recreation or public park or any utility right-of-way. The Town's Zoning By-law does not permit commercial trucks over 6.0m in length to park in residential driveways. To summarize: when I arrive home with the company truck, I cannot park in a municipal facility parking lot; I cannot park on the street; I cannot park on any municipal land; I cannot park in my residential driveway. Under the Traffic By-law, a parking location does not exist for individuals such as myself who require parking for heavy trucks.

The PRC parking lot has been used as a location for heavy truck parking, for at the very least, 20 years that I have lived in Town. This is where Town staff in the past sent heavy trucks requiring parking. This is the same type of location where in many other communities truck drivers can park overnight. The practice of parking at the PRC location has been self-regulating with a limited number of trucks using the facility at any one time – maybe one or two trucks. For the majority of times no heavy trucks are present at all. Parking for heavy trucks is a “real world condition” that needs to be accommodated. The proposed Traffic By-law has provisions within it that will end truck parking at the PRC as it is a municipal facility parking lot. The Traffic By-law has been drafted for Council's consideration without any direct consultation with those truck drivers affected – *“get off our land”*. Period. I am one of those individuals and it seems that restrictions on heavy truck parking are included under the broad brush of the Traffic By-law without direct consultation with those of us affected by the restrictions for parking.

The need for parking locations for heavy trucks exists and will continue to exist. Drivers rely on a safe, secure location to park their truck and the goods they are hauling. They may be on their

way to a destination or returning home – it is their ride home from work to their family here in St. Marys. Heavy trucks cannot be parked in residential driveways under the zoning by-law, creating a need for truck parking elsewhere in Town. Other reasons for the need: truck drivers may need to be in St. Marys for an early delivery or pick up the next morning and arrive to Town the night before. They may arrive to Town at 5 am when the business they are traveling to does not open until 8 am. Importantly, heavy truck parking is required to allow drivers to legally work within their logged hour limits required under provincial legislation. When a driver has logged 13 hours of driving and 14 hours of duty, they are required to stop for a minimum of 10 hours. This is the law and drivers need a place to park. These drivers are typically not local independent truckers and are not from a local company with facilities close by; their truck belongs to an out of town company – a significant distance away.

Truck drivers also need to be selective as to location – we need to know our spots. Drivers need to be confident that their truck and the goods they are carrying are safe and secure in a well-lit area that is frequented by the public and is not isolated – eyes on the street. This is an expectation on behalf of my employer – as operator of the truck, security is my responsibility. Lighting is required for security and also so that drivers can perform circle checks to meet provincial legislation. The parking area needs to be free of snow and accessible to the street in the winter. The PRC parking lot has met this criteria for over 20 years and continues to do so.

I have consulted with municipalities with demographics similar to St. Marys to confirm their arrangements for truck parking:

1. Milverton allows heavy trucks to park at the arena and at the Public Works yard;
2. Mitchell allows heavy trucks to park at the Public Works yard; at the Municipal Administration office parking lot and at a vacant lot owned by the municipality;
3. Harriston allows heavy trucks to park at the arena and at the Public Works yard;
4. Bradford allows heavy trucks to park at the arena;
5. New Liskeard allows heavy trucks to park at the arena;
6. Strathroy allows heavy trucks to park at their Operations Centre.
7. The Town of Perth Ontario allows heavy trucks to park at their Operations Centre;
8. Pettawawa allows heavy trucks to park at the Public Works yard;
9. Wingham allows heavy trucks to park at the arena.

These municipalities are accommodating of heavy trucks and are user friendly in their approach. They do not have a parking permit system and provide the location out of common sense. In consulting with them, they cited no issues around the matter – their simple approach works. These municipalities provide heavy truck parking on the basis that trucks need a place to go – it's a "real world condition". Unlike large cities, but much like St. Marys, these municipalities do not have available Wal-mart or mall parking lots or commercial truck stops that can be used by heavy trucks needing overnight parking. Designated parking areas provided by these municipalities deter heavy trucks from parking where they should not be – eliminating problems in the long run. Instead of prohibiting an activity in St. Marys that will need to continue and will continue despite the proposed Traffic By-law, why not meet the issue and come up with a solution to accommodate truck parking needs. A completely prohibitive by-law that is blind to

“real world conditions” will only create issues on both sides of the matter – for the drivers and for the Town.

To take look at the PRC as a location for designated heavy truck parking, consider the following. The PRC has direct access to James Street South which is an arterial road that heavy truck traffic is permitted to use under the Traffic By-law. James Street South provides direct access to Highway 7 from the PRC through the industrial corridor. Using the PRC parking lot for heavy truck parking does not require trucks to pass through the downtown core and does not necessitate an increase in downtown truck movements. There is already heavy truck traffic associated with the industries on James Street South, some directly across from the PRC. The PRC parking lot is cleared of snow and is accessible to the street in the winter. The parking lot has lighting. The PRC parking lot has the security of public activity and is not isolated - eyes on the street. There is an existing wooden privacy fence and cedar hedge to provide a barrier to protect the adjacent residential uses located to the south of the PRC from headlight glare and noise. This is typical of the barrier required under the Town zoning by-law between industrial and residential uses. There is already ambient noise created at the PRC by snow removal activity early in the morning using heavy equipment; waste bins emptied by a heavy truck in the early morning at Little Falls School and the PRC; school buses on route through the site to Little Falls School; personal vehicles come and go; and arena ice making compressors are operating at all hours.

I require truck parking a couple of times a month. When I arrive home with the truck, I typically park at a location behind the PRC to the east, next to the Kinsman pavilion so as to remove myself from the immediate PRC area. However, if I arrive home before 4 pm, the truck is first parked in the PRC lot for a short time until after school hours when it is then moved to the lot by the Kinsman pavilion. I was asked by Town staff a number of years ago not to park in the lot by the Kinsman pavilion until after 4 pm and so I adhere to that. Typically by 7 am I am gone before daily activity begins. Photos showing my parking situation are attached.

I understand that parking for heavy trucks on municipal property may raise issues with liability. Municipal liability exists as soon as anyone drives on or enters municipal roadways, parking lots or other municipal land. The Town accommodates parking of personal vehicles in municipal lots and takes on that liability every day – for *every* party who uses the municipal lots – certainly greater in number than the limited number of trucks I am speaking of. Chances of personal vehicles leaking fluids and fuel is greatest as those vehicles are not subject to the strict regulations of heavy trucks that must be maintained to meet standards to be operating on the road and are checked every day. St. Marys is a municipality and liability and risk will exist - period. Control the risk through regulation not through prohibition. Even if prohibited through a restrictive by-law, the *need* for truck parking will still exist. Without a *solution* to address the *need* for truck parking that will also recognize the issues of indemnification and liability for the Town, the activity will continue illegally and will only escalate the risk. The need for heavy truck parking is a “real world condition” that is not about to go away.

In response to the restrictions placed on heavy truck parking by the proposed Traffic By-law, my request to Council is to consider how to accommodate heavy truck parking so that it may continue at the PRC. Before passing the Traffic By-law, please consider the situation of individuals like myself who require truck parking and how the Traffic By-law will directly impact activity required for our work.

I would be pleased to work with Town staff and Council in reaching a solution.
Thank you for your consideration.

Respectfully,

“Kevin Luckhardt” (signed)

Kevin Luckhardt
7 Meadowridge Court
St. Marys









MINUTES
Regular Council

May 22, 2018
6:00pm
Council Chambers, Town Hall

Council Present: Mayor Strathdee
Councillor Osborne
Councillor Van Galen
Councillor Winter
Councillor Pope
Councillor Hainer
Councillor Craigmile

Staff Present: Brent Kittmer, CAO / Clerk
Richard Anderson, Director of Emergency Services / Fire Chief
Grant Brouwer, Director of Building and Development
Jim Brown, Director of Finance
Stephanie Ische, Director of Community Services
Jed Kelly, Director of Public Works
Trisha McKibbin, Director of Corporate Services
Lisa Lawrence, Human Resources Manager
Dave Blake, Environmental Services Supervisor
Jenny Mikita, Senior Services Supervisor
Hillary Bennett, Senior Services Program Coordinator
Mark Stone, Planner
Jenna McCartney, Deputy Clerk

1. CALL TO ORDER

Mayor Strathdee called the meeting to order at 6:00pm.

2. DECLARATIONS OF PECUNIARY INTEREST

None declared.

3. AMENDMENTS AND APPROVAL OF AGENDA

Resolution 2018-05-22-01

Moved By Councillor Pope

Seconded By Councillor Craigmile

THAT the May 22, 2018 regular Council agenda be accepted as presented.

CARRIED

4. PUBLIC INPUT PERIOD

Doug Diplock, 48 St. Andrew St. South spoke to the correspondence he provided to Council which was included in this evening's agenda, and indicated he was in support of Council adding pickleball lines to the tennis courts.

Joan Scott, 326 Tracey Street, addressed Council and stated that she is in favour of pickleball lines added to the tennis courts.

Councillor Van Galen requested a point of order with respect to the purpose of the question period.

Mayor Strathdee stated he would welcome brief comments from the public to be accompanied by questions directed to Council regarding any matter specific to the agenda business.

Rob Favacho, 164 Emily Street, stated he has played tennis for a number of years. In Mr. Favacho's experience, he states that it can be very confusing for children to learn to play tennis on courts which have been lined for multi-purposes.

Dave Baxter, 579 Emily Street, acknowledged the difficult decision before council this evening. Mr. Baxter stated that if the courts cannot be shared, he encourages Council to dedicate two courts solely to pickleball courts and two courts solely to tennis courts as a way to appease all parties involved.

John Sipos, 45 Church Street South, stated that he would like Council to consider that painting the addition lines on the courts would be considered by Tennis Club members as a defacement of the courts.

Marianne DeBrabandere, 1842 Perth Road 163, stated that pickleball is a retirement strategy. While pickleball users were not a part of fundraising team in 2014 and 2015, Ms. DeBrabandere feels that if pickleball users were permitted to have lines on the courts, it may be a strategy for the Tennis Club to consider for when they retire from tennis to pickleball.

Mayor Strathdee asked if there was one final question from the gallery.

John Stevens, 96 Robinson Street, suggested that the court could shaded an alternative colour to mark the pickball space (zone). Finally, Mr. Stevens feels

that there are alternative solutions of where to play like the Pyramid Recreation Centre parking lot.

Mayor Strathdee thanked the public for providing their input on the matter.

5. DELEGATIONS, PRESENTATIONS, AND PUBLIC MEETINGS

5.1 Public Meeting for Zoning By-law Amendment Planning Application Z04-2017, 275 James Street South, St. Marys

Resolution 2018-05-22-02

Moved By Councillor Winter

Seconded By Councillor Hainer

THAT the May 22, 2018 regular Council meeting be adjourned at 6:28pm to hold a statutory public meeting as required under the *Planning Act*; and

THAT a Public Meeting to consider a planning application for 275 James Street South be opened at 6:29pm.

CARRIED

Mayor stated "This Public Meeting is being held in accordance with Section 34 of the Planning Act, RSO 1990.

The purpose of the Public Meeting is to solicit the public's comments with respect to a proposed Zoning By-law Amendment initiated by the owner of the subject property, 275 James Street South.

The Zoning By-law Amendment Application is required to facilitate the development of 24 condominium townhouse units in four buildings.

Tonight's meeting is the mandatory Public Meeting held under the Planning Act. Council will make a decision regarding this matter at a future meeting. If you wish to be notified of Council's decision, please leave your name and address with our CAO/Clerk Brent Kittmer.

I will now ask Mr. Kittmer to advise how notice was given and provide a summary of the comments received regarding this Application."

Brent Kittmer stated "Notice was given by first class mail to all land owners within 120 metres (400 feet) of the subject property, to those agencies as prescribed by Regulation, and signage advertising tonight's meeting was posted on the property.

Written comments received regarding this Application are as follows:

Town Engineering and Public Works

- Applicant to confirm sanitary system capacity requirement and that sanitary servicing to property is adequate at the time of site plan application.
- Applicant to confirm water system capacity requirement for fire protection and hydrant flow testing will need to be completed at the time of site plan application to confirm water servicing to property is adequate.
- Vehicular access to be reviewed at the time of site plan application.

Huron-Perth Catholic District School Board

- No concerns

De Vries Family, 5 Maxwell Street

- Concerned with proposed development including: potential traffic impacts, impacts on value of existing properties, removal of mature trees, and impacts of construction on adjacent properties.

Gary Bryans, 257 James Street South

- Suggests that the applicant "could get rid of block one and put his road way there and build a separate duplex on Maxwell or something"
- Concerned with loss of green space – applicant should reduce number of units in Blocks 1 and 4 to maintain as much green space as possible
- Concerned with condition of properties during construction (e.g. piles of brush, and truck and trailer parking)"

Mayor Strathdee called up Councillor Van Galen to advise Council of the Planning Advisory Committee's recommendation with respect to the Applicant.

Councillor Van Galen stated "The Planning Advisory Committee made the following recommendation to St. Marys Town Council at its April 23, 2018 meeting:

THAT based on the review of the Application and comments received thus far, Planning Advisory Committee endorses in principle Application Z04-2017 from Adriano Paola for a Zoning By-law Amendment affecting 275 James Street South, St. Marys, and Committee recommends to St. Marys Town Council that it proceed with the statutory public meeting to be scheduled for May 22, 2018."

Mayor Strathdee called upon the Town's Planner to provide additional information regarding the proposed Application.

Mark Stone stated "The irregularly shaped subject property is approximately 0.87 hectares in size, with 33 metres of frontage along James Street South and 13 metres of frontage along Maxwell Street. 24 townhouse units are proposed, each with individual driveways and garages, along with 10 visitor parking spaces. The applicant indicates that the floor area of each dwelling unit will range from 148.7 to 179.3 m² (1,600 to 1,930 ft²).

The subject property is designated Residential according to the Town's Official Plan. The subject property is currently zoned Residential Development (RD), Residential Two (R2-1) and Residential Three (R3) in the Town's Zoning By-law Z1-1997.

The Zoning By-law Amendment Application would rezone the subject property to Residential Zone Five (R5) to permit the proposed townhouse development with exceptions to certain R5 Zone regulations to change the:

- lot area minimum – 133.7 m² per unit measured from driveway to 1 metre behind rear wall of dwelling unit whereas Section 12.4.16(a) requires 1,017 m² for each row or townhouse dwelling
- lot frontage minimum – 13.7 metres along Maxwell Street frontage whereas Section 12.4.16(b) requires 47.0 metres
- exterior side yard minimum – 3.0 metres to James Street (measured from limit of required 5.0 metre wide road widening to townhouse Block 1) whereas Section 12.4.16(c) requires 6.0 metres
- rear yard minimum – 3.0 metres from townhouse Block 4 to north property line (rear lot line) whereas Section 12.4.16(c) requires 7.5 metres"

Mayor Strathdee called upon the Application's Representative to explain the proposed Application related to the subject property.

Brandon Flewelling, Senior Planner of GSP Group Inc, speaking on behalf of the Applicant, explained the process so far and the revisions to the ZBA application to date.

Mayor Strathdee invited members of the public to provide input on the Application.

Sharon Leslie, 233 James Street South, stated that she is concerned with the current amount of traffic along James Street South and what the new development will add. Ms. Leslie asked if the owner plans to erect a fence to divide the properties. Ms. Leslie also stated that in her opinion 3.0 m for a backyard is not much space. Ms. Leslie ended by stating that she is concerned about the wildlife in her backyard and was told thirteen years ago that the land was contaminated and therefore no one would ever build on the site.

Jennifer Smale, 267 James Street, is concerned about the number of people that could be in each unit; with twenty-four units and possibly four people living in each, that would be a large number of people in a small space and all of these people would surround her property. Ms. Smale stated that her driveway abuts the proposed backyards of a number of the units.

Ms. Smale stated that she is concerned about shadowing and privacy. She would like to know what if there is a plan to replace trees that have already been cut down. Will property lines be adhered to with this development? Will decks be added to units that are already in close proximity to her backyard.

Ms. Smale stated that she is a very concerned citizen regarding the proposal for this property. Is it possible to develop a duplex on the property instead of the multi-residential? Ms. Smale is concerned that there will not be enough green space for the people living in the new development.

Mr. Stone replied regarding the contamination concern. A standard question is asked on every development application regarding awareness of contamination of a property. The Town is not aware of any contamination.

Mr. Stone replied regarding the backyard space for each unit. The Town has heard this concern previously and has taken it into consideration.

Mr. Stone replied regarding shadowing. Typically shadowing is more of a concern with apartments and high rises rather than townhouses.

Mayor Strathdee asked Council if it had any questions.

Councillor Osborne inquired about the price range per unit.

Mr. Flewelling stated he is unaware of that answer at this time.

Councillor Osborne inquired about the private road and the purpose for the branches of the road.

Mr. Flewelling stated the northern branch is for large vehicle maneuvering such as fire truck turning. The eastern branch is visitor parking.

Councillor Pope stated that tonight is not the final decision for what will happen with property. Many of the considerations brought forward tonight will be reviewed by staff. Infill is difficult but necessary for housing needs. Councillor Pope is concerned about the tree scrub on the property but understands it is necessary to permit construction vehicles into site. Thinking of other properties of development, new trees have been added to compliment the development which Councillor Pope is certain will happen at this site.

Councillor Pope inquired whether parkland funds will be required under this development. Further, what are the considerations for garbage and recycling?

Mr. Stone stated that these items will be considered during the site plan approval stage.

Councillor Hainer asked if the units could face the backyards of James Street South residents rather than abutting backyards. Additionally, what is the schedule for development?

Mr. Flewelling stated that the units closest to James Street South will likely be constructed first. The market will dictate the need for more units.

Councillor Hainer concerned about ghost ownership while the remaining units are built and sold.

Mr. Flewelling stated that condominiums have different options for registering the ownership on title. There is an option to register ownership within phases of development.

Councillor Craigmile believes that the set back will be very close to James Street and therefore asked Mr. Stone to reconsider that the set back be increased.

Councillor Osborne feels Council has an obligation to the citizens to answer their concerns. What is the Town's process to respond to concerns?

Mr. Stone stated that after this evening's meeting the staff will address specific site plan issues. Staff can follow up with specific residents to respond to their concerns and keep them updated about the process.

Councillor Winter asked where excess snow will be stored.

Mr. Stone stated this is part of the site plan agreement process and will be considered soon.

Councillor Winter asked if the fire chief had been consulted about the proposed development.

Mr. Stone replied that the fire chief has provided comments about the development.

Councillor Hainer asked that staff bring forward the history of the lot within the next staff report on the matter.

Mayor Strathdee thanked the public for their input. Should Council proceed with the passage of the Zoning By-law Amendment, notice of passing will be provided as prescribed by the Planning Act and a 20-day appeal period to the Local Planning Appeal Tribunal applies.

Resolution 2018-05-22-03

Moved By Councillor Craigmile

Seconded By Councillor Hainer

THAT this public meeting be adjourned at 7:11pm; and

THAT the May 22, 2018 regular Council meeting reconvene at 7:11pm.

CARRIED

5.2 Ontario Clean Water Agency re: 1st quarter reporting

Jackie Muller and Renee Hornick of Ontario Clean Water Agency presented Q1 reporting and responded to questions from Council.

Resolution 2018-05-22-04

Moved By Councillor Hainer

Seconded By Councillor Pope

THAT the presentation by the Ontario Clean Water Agency regarding the 1st quarter report be received.

CARRIED

6. ACCEPTANCE OF MINUTES

6.1 Regular Council - May 8, 2018

Resolution 2018-05-22-05

Moved By Councillor Winter

Seconded By Councillor Craigmile

THAT the May 8, 2018 regular Council meeting minutes be approved and signed and sealed by the Mayor and the Clerk.

CARRIED

6.2 Strategic Priorities Committee - May 15, 2018

Resolution 2018-05-22-06

Moved By Councillor Pope

Seconded By Councillor Craigmile

THAT the May 15, 2018 Strategic Priorities Committee meeting minutes be received and signed and sealed by the Mayor and the Clerk; and

THAT Items 5.1 and 5.4 be raised for discussion.

CARRIED

Resolution 2018-05-22-07

Moved By Councillor Van Galen

Seconded By Councillor Osborne

THAT Council denies the request from the St. Marys Farmers' Market Association for a permanent washroom / storage facility; and

THAT staff and representatives of Council open discussions with the St. Marys Farmers' Market Association related to their future needs and the construction a washroom/storage facility at Milt Dunnell Field.

Amendment:

Moved By Councillor Van Galen

Seconded By Councillor Hainer

Resolution 2018-05-22-08

THAT staff and representatives of Council open discussions with the St. Marys Farmers' Market Association related to their future needs and relocation to Milt Dunnell Field.

CARRIED

Resolution 2018-05-22-07 (as amended)

Moved By Councillor Van Galen

Seconded By Councillor Osborne

THAT Council denies the request from the St. Marys Farmers' Market Association for a permanent washroom / storage facility; and

THAT staff and representatives of Council open discussions with the St. Marys Farmers' Market Association related to their future needs and relocation to Milt Dunnell Field.

CARRIED

Resolution 2018-05-22-09

Moved By Councillor Pope

Seconded By Councillor Osborne

THAT Council approve the following recommendations to support Affordable Housing in St. Marys:

1. Initiate a Town-wide amendment to the Zoning By-law to permit secondary units in single detached, semi-detached and townhouse dwellings subject to specific provisions to regulate potential issues such as parking;
2. Engage in discussions with the development industry with respect to opportunities and potential issues related to implementing inclusionary zoning in St. Marys;
3. Explore opportunities for pre-zoning certain lands for affordable housing following completion of the Official Plan review;
4. Consider alternative development standards, following completion of the Official Plan review, through an update to the Town's Zoning By-law;
5. Support the recommendations of the Official Plan review to consider options to permit standalone residential uses (e.g. low-rise apartment buildings) in the periphery parts of the Central Commercial area, provided such uses do not impact the primary commercial, service and tourism function of the downtown;
6. Staff report back on the financial implications of:
7. a. Proposed development charges discounts for new multi residential units constructed for a sale price of \$265,650 or rentals of approximately \$850 per month.b. Amending the multi-residential tax

ratio from 1.1 to 1.0 for newly constructed rental apartments of 7 or more units for the first 10 years after construction

c. And waiving other associated planning fees.

7. Continue to provide land for affordable housing through the sale or leasing of surplus or underutilized municipally owned land, and consider maintaining a publicly accessible database to assist potential developers seeking to construct affordable housing and tenants seeking affordable housing vacancies.

CARRIED

7. CORRESPONDENCE

7.1 Regional Municipality of Waterloo re: Two-Way All-Day GO rail service and High Speed Rail to Waterloo Region

Resolution 2018-05-22-10

Moved By Councillor Pope

Seconded By Councillor Hainer

THAT the correspondence from the Regional Municipality of Waterloo regarding Two-Way All-Day GO rail service and High Speed Rail to Waterloo Region be received.

CARRIED

7.2 Pickleball Committee re: Support of Pickleball

Resolution 2018-05-22-11

Moved By Councillor Pope

Seconded By Councillor Hainer

THAT the correspondence from the Pickleball Committee regarding Pickleball Support be received.

CARRIED

8. STAFF REPORTS

8.1 Building and Development Services

8.1.1 DEV 22-2018 May Monthly Report (Building and Development)

Grant Brouwer spoke to DEV 22-2018 report and responded to questions from Council.

Resolution 2018-05-22-12

Moved By Councillor Van Galen

Seconded By Councillor Craigmile

THAT DEV-22-2018 May Monthly Report (Building and Development) be received for information.

CARRIED

8.1.2 DEV 23-2018 Zoning By-law Amendment (Z04-2017) 275 James Street South

Mark Stone spoke to DEV 23-2018 report and responded to questions from Council.

Resolution 2018-05-22-13

Moved By Councillor Osborne

Seconded By Councillor Craigmile

THAT DEV 23-2018 Application for ZBA (Z04-2017) A. Paola for 275 James Street South be received; and

THAT the comments received at the Public Meeting be addressed in a report presented at a subsequent Council meeting outlining staff recommendations on the disposition of this Application, once Town staff is satisfied with the layout of the proposed development (as part of the review of the related Site Plan Application).

CARRIED

8.2 Public Works

8.2.1 PW 30-2018 May Monthly Report (Public Works)

Jed Kelly spoke to PW 30-2018 report and responded to questions from Council.

Resolution 2018-05-22-14

Moved By Councillor Pope

Seconded By Councillor Winter

THAT PW 30-2018 May Monthly Report (Public Works) be received for information.

CARRIED

8.2.2 PW 34-2018 Centrifuge Rebuild

Dave Blake spoke to PW 34-2018 report and responded to questions from Council.

Resolution 2018-05-22-15

Moved By Councillor Hainer

Seconded By Councillor Craigmile

THAT Report PW 34-2018 Centrifuge Rebuild be received; and

THAT the Sole Source procurement of maintenance rebuild services be awarded to Alpha Laval in the amount of \$46,678.44; and

THAT By-Law 51-2018 authorizing the Mayor and the Clerk to sign the associated agreement be approved.

CARRIED

8.2.3 PW 33-2018 Wastewater Treatment Plant Inspection Results

Dave Blake spoke to PW 33-2018 responded to questions from Council.

Resolution 2018-05-22-16

Moved By Councillor Winter

Seconded By Councillor Craigmile

THAT PW 33-2018 Wastewater Treatment Plant Inspection Results be received for information.

CARRIED

8.2.4 PW 31-2018 Grand Trunk Countryside Estates Phase 2 Assumption

Jed Kelly spoke to PW 31-2018 report and responded to questions from Council.

Resolution 2018-05-22-17

Moved By Councillor Pope

Seconded By Councillor Craigmile

THAT PW 31-2018 Grand Trunk Countryside Estates Phase 2 Assumption be received; and

THAT Council enact By-law 52-2018 to approve full acceptance and assumption of the infrastructure constructed and installed

within Part 1 & Part 2 of Reference Plan 44R-4187, now Registered Plan 44M-18, as required for the Grand Trunk Countryside Estates Phase 2 Subdivision; and

THAT Council enact By-law 53-2018 to open Millson Crescent and Guest Court for public use and establish as public highways.

CARRIED

8.2.5 PW 29-2018 Service Club Sign Applications

Jed Kelly spoke to PW 29-2018 report and responded to questions from Council.

Resolution 2018-05-22-18

Moved By Councillor Pope

Seconded By Councillor Craigmile

THAT PW 29-2018 Service Club Sign Applications be received; and

THAT Council approve the McConnell Club's application to install a logo sign on each of the Service Club Sign structures.

CARRIED

8.3 Administration and Human Resources

Council recessed at 7:58pm.

Mayor Strathdee called the meeting back to order at 8:07pm.

8.3.1 CAO 17-2018 May Monthly Report (Administration and Human Resources)

Councillor Winter declared pecuniary interest for agenda item 8.3.1 for any conversation related to 45 Thames Road.

Councillor Hainer identified that she had previously declared a pecuniary interest on the same matter.

Brent Kittmer and Lisa Lawrence spoke to CAO 17-2018 report and responded to questions from Council.

Resolution 2018-05-22-19

Moved By Councillor Pope

Seconded By Councillor Winter

THAT CAO 17-2018 May Monthly Report (Administration and Human Resources) be received for information.

CARRIED

8.4 Corporate Services

8.4.1 COR 14-2018 May Monthly Report (Corporate Services)

Trisha McKibbin spoke to COR 14-2018 report and responded to questions from Council.

Resolution 2018-05-22-20

Moved By Councillor Pope

Seconded By Councillor Hainer

THAT COR 14-2018 May Monthly Report (Corporate Services) be received for information.

CARRIED

8.4.2 COR 15-2018 5 James Street N (Via Station) Registration of Designation Bylaw

Trisha McKibbin spoke to COR 15-2018 report and responded to questions from Council.

Resolution 2018-05-22-21

Moved By Councillor Pope

Seconded By Councillor Hainer

THAT COR 15-2018 5 James Street N. (Via Station) Registration of Designation Bylaw be received; and

THAT Council pass By-law 50-2018 being a by-law to amend By-law 33 of 1987, a by-law designating 5 James Street North to be of architectural, associative and historical value or interest, as amended by By-law 39 of 2017 (Schedule A).

CARRIED

8.5 Finance

8.5.1 FIN 11-2018 May Monthly Report (Finance)

Jim Brown spoke to FIN 11-2018 report and responded to questions from Council.

Resolution 2018-05-22-22

Moved By Councillor Craigmile

Seconded By Councillor Van Galen

THAT FIN 11-2018 May Monthly Report (Finance) be received for information.

CARRIED

8.6 Fire and Emergency Services

8.6.1 FD 05-2018 May Monthly Report (Emergency Services)

Fire Chief Anderson spoke to FD 05-2018 report and responded to questions from Council.

Resolution 2018-05-22-23

Moved By Councillor Craigmile

Seconded By Councillor Winter

THAT FD 05-2018 May Monthly Report (Emergency Services) be received for information.

CARRIED

8.7 Community Services

8.7.1 DCS 11-2018 May Monthly Report (Community Services)

Stephanie Ische spoke to DCS 11-2018 report and responded to questions from Council.

Resolution 2018-05-22-24

Moved By Councillor Pope

Seconded By Councillor Hainer

THAT DCS 11- 2018 May Monthly Report (Community Services) be received for information.

CARRIED

8.7.2 DCS 09-2018 Pickleball Lines on the Tennis Courts

Stephanie Ische spoke to DCS 09-2018 report and responded to questions from Council.

Resolution 2018-05-22-25

Moved By Councillor Van Galen

Seconded By Councillor Craigmile

THAT the Town staff facilitate a meeting between representatives of the Tennis Club and Pickleball Club to arrive at a mutually agreeable design for use of 2 pickleball courts at the tennis courts and report back to Council at the next regular meeting.

CARRIED

9. EMERGENT OR UNFINISHED BUSINESS

None.

10. NOTICES OF MOTION

None.

11. BY-LAWS

Resolution 2018-05-22-26

Moved By Councillor Pope

Seconded By Councillor Hainer

THAT By-Laws 50-2018 to 53-2018 be read a first, second and third time; and be finally passed and signed and sealed by the Mayor and the Clerk.

CARRIED

**11.1 By-Law 50-2018 Amend by-law 39 of 2017 Heritage Designation 5
James Street South**

**11.2 By-Law 51-2018 Authorize an Agreement with Alpha Laval for
Centrifuge Maintenance Rebuild**

**11.3 By-Law 52-2018 Assumption of Infrastructure for Millson Crescent
and Guest Court**

**11.4 By-Law 53-2018 Open and Assume Guest Court and Millson Crescent
as a Public Highway**

12. UPCOMING MEETINGS

Mayor Strathdee provided his regrets for June 12.

Mayor Strathdee reviewed the upcoming meetings as presented on the agenda.

13. CLOSED SESSION

None.

14. CONFIRMATORY BY-LAW

Resolution 2018-05-22-27

Moved By Councillor Craigmile

Seconded By Councillor Osborne

THAT By-Law 54-2018, being a by-law to confirm the proceedings of May 22, 2018 regular Council meeting, be read a first, second and third time; and be finally passed and signed and sealed by the Mayor and the Clerk.

CARRIED

15. ADJOURNMENT

Resolution 2018-05-22-28

Moved By Councillor Hainer

Seconded By Councillor Craigmile

THAT this regular meeting of Council adjourn at 9:50pm.

CARRIED

Al Stratheed, Mayor

Brent Kittmer, CAO / Clerk



MINUTES
Special Meeting of Council

May 23, 2018

3:00pm

Municipal Operations Centre, Boardroom

Council Present: Mayor Strathdee
Councillor Osborne
Councillor Van Galen
Councillor Pope
Councillor Hainer
Councillor Craigmile

Council Regrets: Councillor Winter

Staff Present: Jenna McCartney, Acting Clerk
Grant Brouwer, Director of Building and Planning
Mark Stone, Planner
Susan Luckhardt, Planning Coordinator

Others Present: Ken Strong, Solicitor
Kelly Nenniger, Solicitor
Dr. Loucks, Planning Advisory Committee and Committee of Adjustment member
Bill Galloway, Planning Advisory Committee and Committee of Adjustment member
Clive Slade, Committee of Adjustment member

1. CALL TO ORDER

Mayor Strathdee called the meeting to order at 3:00pm.

2. DECLARATIONS OF PECUNIARY INTEREST

None declared.

3. AMENDMENTS AND APPROVAL OF AGENDA

Resolution SC2018-05-23-01

Moved By Councillor Van Galen

Seconded By Councillor Craigmile

THAT the May 23, 2018 Special Meeting of Council agenda be accepted as presented.

CARRIED

4. CLOSED SESSION

Resolution SC2018-05-23-02

Moved By Councillor Hainer

Seconded By Councillor Pope

THAT Council move into a session that is closed to the public at 3:01pm as authorized under the *Municipal Act*, Section 239(2)(f) advice that is subject to solicitor-client privilege, including communications necessary for that purpose, and Section 239(3.1)(1) meeting is held for the purpose of educating or training the members.

CARRIED

4.1 Council Orientation on new Local Planning Appeal Tribunal (LPAT)

4.2 Solicitor Advice RE: 151 Water Street North Planning File

5. RISE AND REPORT

Mayor Strathdee reported that a closed session had occurred and two matters were discussed. The first matter involved training of Council related to the new Local Planning Appeal Tribunal (LPAT) regulation. The second matter related to solicitor advice for an open planning file, with direction being given to staff. There is nothing further to report at this time.

Resolution SC2018-05-23-03

Moved By Councillor Pope

Seconded By Councillor Hainer

THAT Council rise from a closed session at 4:20pm.

CARRIED

6. BY-LAW

Resolution SC2018-05-23-04

Moved By Councillor Craigmile

Seconded By Councillor Van Galen

THAT By-Law 55-2018, being a by-law to confirm the proceedings of May 23, 2018 special Council meeting, be read a first, second and third time; and be finally passed and signed and sealed by the Mayor and the Clerk.

CARRIED

7. ADJOURNMENT

Resolution SC2018-05-23-05

Moved By Councillor Craigmile

Seconded By Councillor Van Galen

That this special meeting of Council be adjourned at 4:21pm.

CARRIED

Al Strathdee, Mayor

Brent Kittmer, CAO / Clerk



MINUTES
Special Meeting of Strategic Priorities Committee

May 28, 2018
9:00 am
Council Chambers, Town Hall

Council Present: Mayor Strathdee
Councillor Osborne
Councillor Winter
Councillor Hainer
Councillor Pope
Councillor Craigmile

Council Regrets: Councillor Van Galen

Staff Present: Brent Kittmer, CAO / Clerk
Grant Brouwer, Director of Building and Development
Jed Kelly, Director of Public Works
Trisha McKibbin, Director of Corporate Services
Kelly Deeks – Johnson, Economic Development Manager
Dave Blake, Environmental Services Supervisor
Jeff Wolfe, Asset Management, Engineering Specialist
Jenna McCartney, Deputy Clerk

1. CALL TO ORDER

Chair Strathdee called the meeting to order at 9:00am.

2. DECLARATIONS OF PECUNIARY INTEREST

None declared.

3. AMENDMENTS AND APPROVAL OF THE AGENDA

Resolution 2018-05-28-01

Moved By: Councillor Hainer

Seconded By: Councillor Osborne

THAT the May 28, 2018 special meeting of the Strategic Priorities Committee agenda be accepted as presented.

CARRIED

4. CLOSED SESSION

Resolution 2018-05-28-02

Moved By: Councillor Pope

Seconded By: Councillor Craigmile

THAT the Strategic Priorities Committee move into a session that is closed to the public at 9:01am as authorized under the Municipal Act, Section 239(2)(k) a position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board.

CARRIED

4.1 CAO 19-2018 CONFIDENTIAL Supplemental Information for the Serviced Industrial Land Strategy Review

5. RISE AND REPORT

Resolution 2018-05-28-03

Moved By: Councillor Pope

Seconded By: Councillor Craigmile

THAT the Strategic Priorities Committee rise from a closed session at 10:40am.

CARRIED

Chair Strathdee reported that a closed session was held. One matter was discussed with direction being given to staff. There is nothing further to report.

6. NEXT MEETING

Chair Strathdee reviewed the upcoming meeting as presented on the agenda.

7. ADJOURNMENT

Resolution 2018-05-28-04

Moved By: Councillor Craigmile

Seconded By: Councillor Hainer

THAT this special meeting of the Strategic Priorities Committee adjourn at 10:41am.

CARRIED

Al Strathdee, Mayor

From: Herman Veenendaal
Sent: May 22, 2018 1:20 PM
To: Clerks Office <clerksoffice@town.stmarys.on.ca>
Subject: Fireworks

I wish to express my concern about the excessive use of fireworks in St. Marys during holiday weekends. I can also say that I speak for a large number of fellow citizens in expressing this concern.

Fireworks are heard in town beginning as early as the Thursday prior to the long weekend. The noise is disturbing to many people and doubtless to those that work shifts, small children that are put to bed early and the many domestic pets which suffer anxiety from the hours of noise. Additionally, many do not adhere to the 11 p.m. time limit and continue to set these things off near midnight and beyond.

This activity occurs during the peak nesting season for birds and the stress on these wild creatures cannot be underestimated. There have been recorded incidents of thousands of birds falling dead from the sky during such events in the U.S. when flocks were frightened into flight.
<https://www.nytimes.com/2011/01/04/us/04beebe.html>

Why does St. Marys allow 3 nights of such behaviour when other municipalities have either banned or confined the activity to a single night?

Please revisit the bylaw of 2011 and let peace return to summer evenings in St. Marys.

Thank you,

Herman Veenendaal
146 Ontario st. S

St. Marys



www.cn.ca

Corporate Services

Sean Finn
Executive Vice-President
Corporate Services
and Chief Legal Officer

935 de La Gauchetière Street West
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Services corporatifs

Vice-président exécutif
Services corporatifs et chef de la
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May 7, 2018

His Worship Al Stratthdee
Mayor
Town of St. Marys
175 Queen Street East, 2nd Floor
PO. Box. 998
St Marys ON N4X 1B6

Mayor Stratthdee

At CN, we are committed to maintaining a strong connection with all of the communities across our network, spanning from coast to coast through eight provinces in Canada and stretching across sixteen states down to the Gulf of Mexico. As a backbone of the North American economy, we pride ourselves on moving goods safely, creating and supporting quality jobs, and investing in the many communities we serve.

We also have our sights set on becoming the safest railway in North America. In addition to reinforcing safety as a core value amongst our 25,000 employees, we collaborate with communities and local authorities to help prevent accidents and ensure everyone's safety.

As such, we are pleased to share our 2018 edition of our *CN in your Community* publication. In reading this report, you will find information about our different initiatives in your region, including our positive economic impact, our capital investments as well as our community partnerships.

This year will see record spending in capital investments, with a planned \$3.4 billion to ensure we are serving customers and communities safely and efficiently. As part of our largest-ever infrastructure program, we will invest in new track and increased yard capacity, which will benefit grain, forest products, intermodal, coal and potash business.

Finally, as part of our commitment to making communities better places to live and work, we look forward to building impactful partnerships with organizations across our network through the *CN Stronger Communities Fund*, and to supporting employees, retirees and their families who volunteer for worthy causes through our *Railroaders in the Community* program.

Should you have any questions or concerns, please do not hesitate to contact Daniel Salvatore at (647) 544 3368 or daniel.salvatore@cn.ca. We look forward to collaborating with you in 2018 towards a brighter future.

Yours sincerely,



Sean Finn

Encl.

STRATFORD GENERAL HOSPITAL
Foundation ♥

April 17, 2018

The Honorable Mayor Al Stratthdee
Corporation of the Town of St. Marys
PO Box 998
St. Marys, ON N4X 1B6

46 General Hospital Drive
Stratford, Ontario N5A 2Y6
Tel. 519-272-8210 ext. 2626
Fax 519-272-8238
www.sghfoundation.org
sgh.foundation@hpha.ca
Char.#11920 0004 RR0001



Dear Mayor Stratthdee and Town of St. Marys Council Members:

Loyalty. To some it might sound like a bit of an old-fashioned word—perhaps even an old-fashioned notion.

Not to us.

At the Stratford General Hospital Foundation we understand and appreciate the loyalty and generosity you have shown through the years, and the key role you have played in helping us keep our promise of healthcare that's second to none.

We want to say thank you.

Since 1985, you've contributed a total of \$425,025.00 to our Hospital! Imagine the impact that has had on your community, on your neighbors, perhaps even on your own family members. **In fact, without you and many others like you—we would have nothing.** Behind every piece of medical equipment at our hospital—are caring donors. From the North Wing construction to the MRI to new technology like the CT Scanner and everything in between—loyal donors make an impact.

That kind of commitment doesn't happen overnight; it takes time. Even then, it only happens when people like you value and appreciate the impact of our hospital, support our vision and goals, and trust that we'll live up to our promises.

As the Stratford General Hospital Foundation celebrates its 35th Anniversary we reflect on all the donors who have been there for our hospital throughout the years.

Enclosed is your Promises Made, Promises Kept Certificate of Appreciation. It symbolizes the promise every hospital staff member, volunteer and physician makes to do their best in performing their role in caring for you...it represents the promise of our hospital to ensure we're equipped with the finest tools, technology and facilities to provide that care...but most importantly, it recognizes the **indispensable part you've played** in helping us keep that promise over the last decade or more.

We can never say thank you enough.

Sincerely,

Andrea

Andrea Page, FAHP, CFRE
Executive Director

Wow! Thanks ever so much!

"people caring for people"



Notice of Extension of Hours for 2018 FIFA World Cup

The Registrar of Alcohol, Gaming and Racing (Registrar) has approved the start of liquor service in the province at 9:00 a.m. for liquor sales licensees during the 2018 FIFA World Cup tournament. This approval is temporary and only for the duration of tournament play, which starts on June 14, 2018 and ends on July 15, 2018. The extension of hours for this period is intended to allow service to coincide with the beginning of some games, which because of the time difference involved, will be televised in Ontario early in the morning. The closing service time of 2:00 a.m. will remain unchanged.

Temporary extensions of service hours are permitted under the *Liquor Licence Act* for liquor sales licensees for events of municipal, provincial, national or international significance. While temporary extensions are not normally provided for events taking place outside of the province, the Registrar recognizes that the 2018 FIFA World Cup is an event of international significance for many communities in Ontario and is one of the most watched sporting events in the world. In Ontario specifically, the tournament attracts a large and enthusiastic following within the province's broad multicultural communities.

The extension of hours will apply to licensed establishments province-wide. If a municipality objects to the extension of hours in their jurisdiction then they may notify the Registrar in writing of their objection and local wishes will be respected.

Whether or not an establishment decides to begin serving at 9:00 a.m. is an individual business decision for each liquor sales licensee. Please note however that while individual establishments need not apply to the AGCO for approval to begin alcohol service at 9:00 a.m. during the 2018 FIFA World Cup, they are responsible for ensuring that the municipality in which they are located is one that has not objected to this extension of hours.

Further information on this policy, including a list of municipalities where the extension of hours is not permitted, can be obtained by calling AGCO Customer Service at 1-800-522-2876 or by visiting the AGCO webpage on the [Extension of Hours for 2018 FIFA World Cup](#).

FORMAL REPORT

To:	Mayor Stratthdee and Members of Council
Prepared by:	Susan Luckhardt, Planning Coordinator
Date of Meeting:	12 June 2018
Subject:	DEV 24-2018 Site Plan Agreement, 121 Ontario Street South, Rick Murphy Holdings Ltd

PURPOSE

To provide information and to seek Council authorization for the Mayor and Clerk to enter into a Site Plan agreement on behalf of the Town of St. Marys with Rick Murphy Holdings Ltd. for lands described as Lots 14, 15, 16, 17, 18, 19 & 20 West Side Thomas Street, Plan 235, St. Marys; Lots 16, 17, 18, 19 & 20 East Side Ontario Street, Plan 235, St. Marys; save and except Part 1 on Reference Plan 44R-5423; S/T R151468, St. Marys and having the municipal address of 121 Ontario Street South.

RECOMMENDATION

THAT DEV 24-2018 Site Plan Agreement, 121 Ontario Street South, Rick Murphy Holdings Ltd. be received; and

THAT Council authorize Mayor and Clerk on behalf of the Town of St. Marys to enter into a Site Plan Agreement between the Town of St. Marys and Rick Murphy Holdings Ltd; and

THAT Council enact By-law 59-2018 authorizing the Mayor and the Clerk to sign a Site Plan Agreement with Rick Murphy Holdings Ltd.

BACKGROUND

The property was formerly owned by the Town of St. Marys and most recently operated as an early learning centre. The Town completed the sale of the property in September 2017 to Wildwood Homes as a result of a public tender process.

Zoning By-law Amendment Z125-2018 approved by Council on March 13, 2018 amended the zoning on the property from "Institutional Zone – I to "Residential Zone Five – R5-6" to permit the development of the property for 23 apartment units in four buildings. The property is designated "Residential" with a small area identified as "Floodplain" at the northeast corner in the Town Official Plan.

REPORT

The proponents have submitted an application for a site plan agreement with the Town to ensure that development of the property is within Town standards and the zone provisions established for the property. The proponents are proposing to construct three new buildings on the site, each measuring 232 square metres. Each of the three new buildings will contain 6 apartment units. The existing building on the site measuring 493 square metres will be converted for 5 apartment units.

Town staff has reviewed the development on the property with respect to the proposed construction and a site plan agreement has been drafted to the satisfaction of Town staff and the proponent. The site plan agreement attached to this report is being presented to Town Council for its consideration.

FINANCIAL IMPLICATIONS

n.a.

STRATEGIC PLAN

- ☒ This initiative is supported by the following priorities, outcomes, and tactics in the Plan.
- Pillar #3 Balanced Growth: Scale-based demographic growth and targeted immigration
 - Outcome: One of the only remaining means of growing the population is by attracting newcomers to St. Marys. St. Marys will identify the key demographics they wish to attract and match these against existing amenities that would best serve those demographics.
 - Tactic(s): Review the current approach to development, recognizing that a “one size fits all” plan will not best meet the needs of the Town.
Identify what infrastructure needs should be in place to attract/retain this demographic (e.g. housing that’s affordable, public services, etc.)
 - Pillar #3: Balanced Growth: Youth recruitment and retention strategy
 - Outcome: It is important to not only attract youth to the Town, but also to retain existing youth by ensuring there are adequate opportunities. Tactics will focus on youth of all ages.
 - Tactic(s): Review and identify what infrastructure needs should be in place to attract/retain this demographic (e.g. housing that’s affordable, public services, etc.)
 - Pillar #6: Housing: Attainable and mixed-use housing
 - Outcome: In order to get the “right demographic mix” for St. Marys, it will be essential to ensure housing stock is flexible and attractive for youth, workers, immigrants and persons of all abilities.
 - Tactic(s): Investigate the prospect of medium density housing in the downtown and surrounding areas (infill and new development spaces; “building in and building up”).
 - Pillar #6: Housing: Seek public-private partnership models
 - Outcome: New approach to housing may require a different form of financial investment to get established.
 - Tactic(s): Investigate and develop a range of possible approaches to launch a renewed housing strategy, designed to meet the current affordability and demographic challenges.

OTHERS CONSULTED

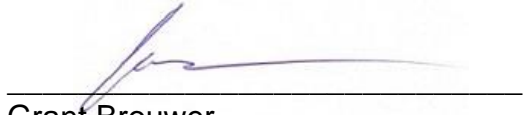
Jed Kelly, Director of Public Works
Jeff Wolfe, Asset Management / Engineering Specialist
Dave Blake, Supervisor of Environmental Services
Jenna McCartney, Deputy Clerk
Brian Leverton, Fire Prevention Officer
Jason Silcox, Building Inspector
Kelly Deeks-Johnson, Manager of Economic Development

ATTACHMENTS

1. Site Plan Agreement with Schedules

REVIEWED BY

Recommended by the Department

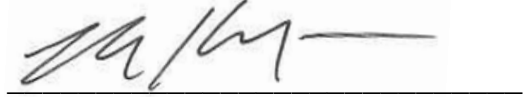


Grant Brouwer
Director of Building and Development



Susan Luckhardt
Planning Coordinator

Recommended by the CAO



Brent Kittmer
CAO / Clerk

AGREEMENT MADE UNDER SECTION 41 OF THE PLANNING ACT, R.S.O. 1990

THIS AGREEMENT made this _____ day of _____, 2018.

BETWEEN:

THE CORPORATION OF THE TOWN OF ST. MARYS

(Hereinafter called the “Town”)

OF THE FIRST PART

AND:

RICK MURPHY HOLDINGS LTD.

(Hereinafter called the “Owner”)

OF THE SECOND PART

WHEREAS the Owner is the owner of the lands described as Lots 14, 15, 16, 17, 18, 19 & 20 West Side Thomas Street, Plan 235, St. Marys; Lots 16, 17, 18, 19 & 20 East Side Ontario Street, Plan 235, St. Marys; save and except Part 1 on Reference Plan 44R-5423; S/T R151468 St. Marys, in the Town of St. Marys in the County of Perth hereto being all of PIN 53242-0048 (LT) all in the Registry Office for the Land Titles Division of Perth (No. 44) (hereinafter referred to as the “Lands”).

AND WHEREAS the Town has imposed the provisions of Section 41 of the Planning Act, R.S.O. 1990 in respect to the land;

AND WHEREAS this Agreement is being entered into by the parties hereto as a condition to the approval of the plans and drawings referred to in Subsection 4 of Section 41 of the Planning Act, R.S.O. 1990;

AND WHEREAS this Agreement shall be registered against “the lands” to this Agreement and the Town is entitled to enforce the provisions thereof against the Owner and, subject to the provisions of the Registry Act and the Land Titles Act, any and all subsequent owners of the land, in accordance with Subsection 10 of Section 41 of the Planning Act, R.S.O. 1990;

NOW THEREFORE WITNESSETH that for the sum of TWO DOLLARS (\$2.00) paid to the Town by the Owner (receipt whereof is hereby acknowledged), and in consideration of the Town approving the plans and drawings for the development of “the lands”, the Owner covenants and agrees with the Town to provide, to the satisfaction of and at no expense to the Town, the following:

1. The Owner Agrees:

- (a) that all buildings and structures to be erected on the Lands shall be located in accordance with the building locations as shown on Drawings 1, 3, 4 attached hereto as part of Schedule “A”;
- (b) that all services including sanitary sewers and appurtenances, storm sewers and approved storm water management, and water main and appurtenances shall be as shown on Drawings 1, 3, 4, 6 and 7 attached hereto as part of Schedule “A” and shall be maintained by the Owner at its expense on an ongoing basis;
- (c) that all utility services to the property line including sanitary sewers and appurtenances, storm sewers and approved storm water management, and water main and appurtenances be installed under the authority and supervision of the Town of St. Marys. Utility service installations shall be facilitated by the Town, at the request of the proponent. The proponent shall be responsible for any and all costs associated with the required utility services. Utility services shall be according to Drawings 1, 3, 4, 6 and 7 attached hereto as part of Schedule “A”;
- (d) that all necessary provisions for service connections on the Lands shall be made to the satisfaction of the Town;
- (e) that access to and from the Lands shall be designed and constructed at the sole risk and expense of the Owner and shall be located and constructed as shown on Drawings 1, 3 and 4 attached hereto as Schedule “A”;
- (f) that the internal driveways, vehicle parking areas, vehicle maneuvering areas and pedestrian walkways shall be designed and constructed at the sole risk and expense of the Owner and shall be locate and constructed as shown on Drawings 1, 3 and 4 attached hereto as part of Schedule “A”;
- (g) that vehicle parking areas and walkways shall be designed to have regard for accessibility for persons with disabilities;

- (h) that landscaping shall be provided in accordance with Drawings 1 and 3 attached hereto as part of Schedule “A”. All landscaped materials shall be maintained by the Owner on an ongoing basis;
- (i) that during construction, the Owner shall provide protection for any existing trees with temporary fencing to the extent of the drip line;
- (j) that erosion and sediment controls shall be provided for the site during construction to the satisfaction of the Town as shown on Drawing 5 and as detailed on Drawing 7 attached hereto as part of Schedule “A”;
- (k) that final grades and elevations shall be established to the satisfaction of the Town and shall be in accordance with the grading and elevations as shown on Drawing 3 attached hereto as part of Schedule “A”;
- (l) that all lighting facilities to be used and/or provided shall not have negative impact onto any adjacent or abutting properties and shall be as shown on Drawings 8a) to 8g) attached hereto as part of Schedule “A” and shall be located as shown on Drawing 4 attached hereto as part of Schedule “A”;
- (m) that all hydro cables be located underground on the Lands;
- (n) that waste storage facilities shall be located as shown on Drawing 1 attached hereto as part of Schedule “A”;
- (o) that snow storage shall be on the property as shown on Drawing 1 attached hereto as part of Schedule “A”;
- (p) that the development on the Lands including but not limited to driveways, buildings, structures, paved areas, landscaping and lot grading shall be maintained at the sole risk and expense of the Owner on an ongoing basis;
- (q) that any and all development on the Lands shall be to Town standards and the provisions of the Town’s Zoning By-law in effect at the time of development;
- (r) that all uses on the Lands and within the buildings on the Lands shall be in accordance with the provisions of the Town’s Zoning By-law Z1-1997, as amended.

2. Schedule “A” consists of the following drawings:

- a) Drawing One prepared by NA Engineering Associates Inc. on May 22, 2018 and numbered as A101, revision 8; having a file number as 17-1092C_Aa and a project number as 17-1092;
 - b) Drawing Two prepared by NA Engineering Associates Inc. on April 25, 2018 and numbered as C101, revision 4; having a file number as 17-1092C_Aa and a project number as 17-1092;
 - c) Drawing Three prepared by NA Engineering Associates Inc. on May 22, 2018 and numbered as C102, revision 4; having a file number as 17-1092C_Aa and a project number as 17-1092;
 - d) Drawing Four prepared by NA Engineering Associates Inc. on May 22, 2018 and numbered as C103, revision 6; having a file number as 17-1092C_Aa and a project number as 17-1092;
 - e) Drawing Five prepared by NA Engineering Associates Inc. on April 25, 2018 and numbered as C104, revision 5; having a file number as 17-1092C_Aa and a project number as 17-1092;
 - f) Drawing Six prepared by NA Engineering Associates Inc. on February 23, 2018 and numbered as C105, revision 2; having a file number as 17-1092C_Aa and a project number of 17-1092;
 - g) Drawing Seven prepared by NA Engineering Associates Inc. on April 25, 2018 and numbered as C201, revision 2; having a file number as 17-1092C_Aa and a project number of 17-1092;
 - h) Drawings Eight “8a” to “8g” provided by RAB Design Lighting Inc.
- 3. Schedule “A”, as described in paragraph 2. above and attached hereto shall form part of this Agreement.
 - 4. The Owner shall enter into a Separate Agreement for electricity with Festival Hydro Inc.
 - 5. Entrances to the buildings shall be kept clear of any obstructions including snow accumulation at the responsibility of the owner.
 - 6. The owner shall be responsible for the cost of any signage and the installation of said signage required for this site.
 - 7. The Owner agrees that the abutting street to be used for access during construction shall be kept in good and usable condition during the said construction and all necessary care

will be taken to see that mud and soil is not tracked or pulled onto any public street or sidewalks. If damaged or muddied, such streets or sidewalks shall be restored and/or cleaned up by the owner at his own expense. The owner acknowledges that he has the responsibility to correct or clean muddied streets used for access during construction. If the owner fails to complete said work, then the provision of paragraph 10 of this Agreement shall apply.

8. Minor adjustments to the requirements of this Site Plan Agreement may be made subject to the approval of the Town provided that the spirit and intent of the Agreement is maintained. Such minor adjustments shall not require an amendment to this Agreement; however, the written approval of the Town is required before such minor adjustments can be made.
9. Nothing in this Agreement constitutes a waiver of the obligation of the Owner to comply with the Zoning By-law of the Town, Ontario Building Code or any other By-laws of the Town or any restrictions or regulations lawfully imposed by any other authorities having jurisdiction in connection therewith.
10. In the event of the failure by the Owner to comply with any of the provisions of this Agreement, the Town, its servants or agents, on seven (7) days' notice in writing to the Owner of its intention and forthwith in the case of any emergency, shall at its sole discretion have the right to rectify such failure to comply to its satisfaction and recover the expense incurred by the Town in a like manner as municipal taxes.
11. The Owner agrees to deposit with the Town a refundable security deposit in the amount of Fifteen Thousand Dollars (\$15,000.00) at the time of application for a building permit so as to ensure due performance of the requirements of this Agreement and to repair damaged public services including curb, road and sidewalk. The security deposit shall be refunded without interest or penalty when the Owner's architect or engineer provides a certificate to the Town that the conditions of this Agreement have been completed and any damaged public services have been repaired to the satisfaction of the Town.

Furthermore, the Owner agrees to deposit with the Town, at the time of application for building permit, a refundable security deposit in the amount of Five Thousand Dollars (\$5,000.00) for landscaping as outlined in paragraph 1(h). The security deposit shall be refunded without interest or penalty when the Owner's Landscape architect or engineer

provides a certificate to the Town that the landscaping, for which the deposit covered, has been completed in accordance with this agreement.

12. If any notice is required to be given by the Town to the Owner in respect to this Agreement, such notice shall be sent by registered mail, registered courier or delivered personally by the Town employee or its agent to:

Rick Murphy
Rick Murphy Holdings Ltd.
590 Widder Street East
St. Marys Ontario
N4X 0A6

or to such other addresses of which the Owner has notified the Town in writing, and any such notice mailed, sent or delivered shall be deemed good and sufficient notice under the terms of this Agreement.

13. Any provision of this Agreement which is prohibited or unenforceable shall be ineffective to the extent of such prohibition or unenforceability and shall be severed from the balance of this Agreement, all without affecting the remaining provisions of this Agreement.
14. This Agreement shall be registered against the Lands by the Town and all costs associated with the said registration shall be the responsibility of the Owner. The covenants, agreements, conditions and understandings herein contained on the part of the Owner shall run with the Lands and shall enure to the benefit of and be binding upon the parties hereto and their respective successors, heirs, executors, administrators and assigns.
15. Execution of this Agreement shall be deemed to be authorization by all parties to the solicitor for the Town to register same in the appropriate Land Registry Office, without further written authorization.
16. The failure of a Party at any time to require performance by the other Party of any obligation under this Agreement shall in no way affect the first Party's right thereafter to enforce such obligation, nor shall any such waiver be taken or held to be a waiver of the performance of the same or any other obligation hereunder at any later time.
17. The parties hereto covenant and agree that at all times and from time to time hereafter upon every reasonable written request so to do, they shall make, execute, deliver or cause to be made, done, executed and delivered, all such further acts, deeds, assurances and

things as may be required for more effectively implementing and carrying out the true intent and meaning of this Agreement including any amendments to this Agreement required to effect the registration of this Agreement.

18. The parties hereto acknowledge and agree that this agreement is further to and does not remove any of the Owner’s obligations under any prior Agreements.
19. The Owner agrees on behalf of itself and its heirs, executors, administrators, successors and assigns to indemnify the Town from all losses, damages, costs, changes and expenses which may be claimed or recovered against the Town by any person or persons arising either directly or indirectly as a result of any action taken by the Owner pursuant to this agreement.
20. The Owner hereby covenants and agrees to save harmless the Town from any loss whatsoever arising out of or pursuant to the execution of this Agreement and the issuing of a building permit whether final or conditional for any construction on the Lands. This indemnification shall apply to all claims, demands, costs and expenses in respect to the development of the Lands as set out in this Agreement.

IN WITNESS WHEREOF the Owner has hereunto set its hand and seal and the Town has hereunto affixed its corporate seal under the hands of its Mayor and Clerk.

RICK MURPHY HOLDINGS LTD.

Per: _____
Rick Murphy
Rick Murphy Holdings Ltd.

(I have authority to bind the Corporation.)

THE CORPORATION OF THE TOWN OF ST. MARYS

Per: _____
Mayor: Al Strathdee

Per: _____
CAO/Clerk: Brent Kittmer

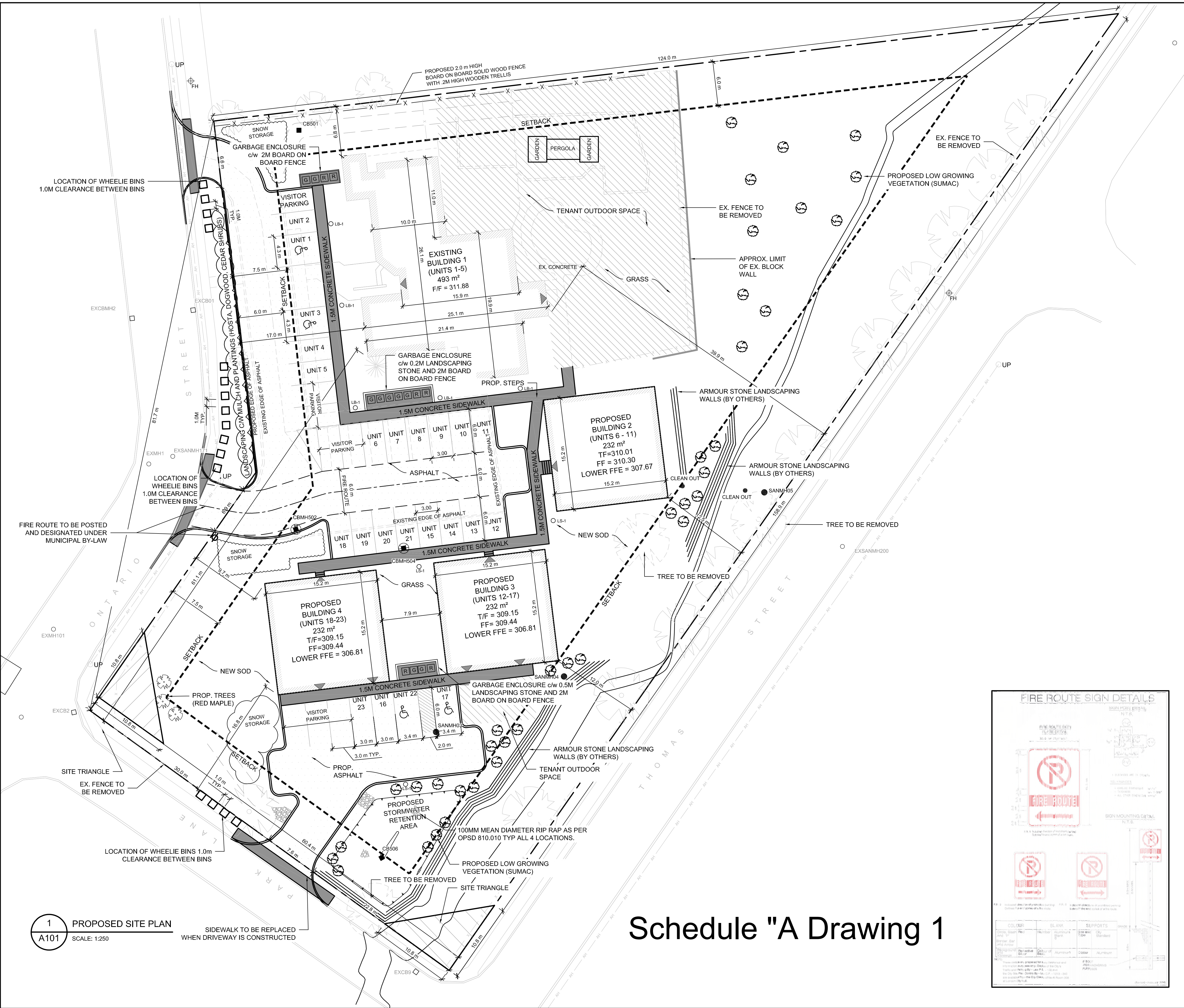
(We have the authority to bind the Corporation.)

NOTES TO SPA

1. It is the Owner's responsibility to fulfill the obligations contained in this Site Plan Agreement. It is also the Owner's responsibility to submit a request for the refund of deposits in writing when all of the work has been completed to the standards of this Site Plan Agreement.
2. The Owner shall enter into a separate agreement for electricity with Festival Hydro Inc., 1887 Erie Street, PO Box 397, Stratford ON N5A 6T5, 519-273-4703.
3. Any sign erected on the subject property shall be in conformity with the Town's current sign by-law. The owner shall apply for a separate sign permit.

Schedule “A”

Attach Drawings 1, 2, 3, 4, 5, 6, 7 and 8 a) to 8g)



TYPICAL LEGEND

- FH FIRE HYDRANT
- STWV WATER VALVE
- STWV NEW STORM MANHOLE
- SAMH EXISTING STORM MANHOLE
- SAMH PROP. SANITARY MANHOLE
- CB EXISTING CATCH BASIN
- CB PROP. CATCH BASIN
- CBM EXISTING STORM CATCH BASIN MANHOLE
- CBM PROP. STORM CATCH BASIN MANHOLE
- LP EXISTING LIGHT POLE
- LP PROP. LIGHT POLE
- LS-1 LIGHT STANDARD- RAB AL1-LED
- LS-2 LIGHT STANDARD- RAB RAY6-LED
- GUY GUY POLE
- INDICATES PROP. CONCRETE
- INDICATES PROP. ASPHALT
- GARBAGE RECEPTACLE
- RECYCLE RECEPTACLE

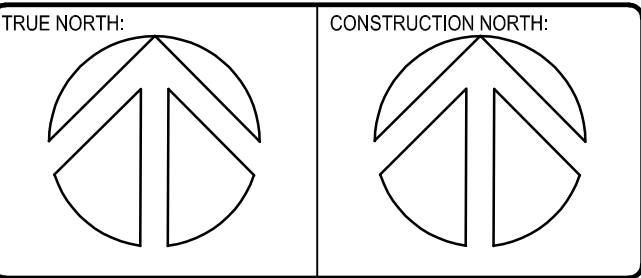
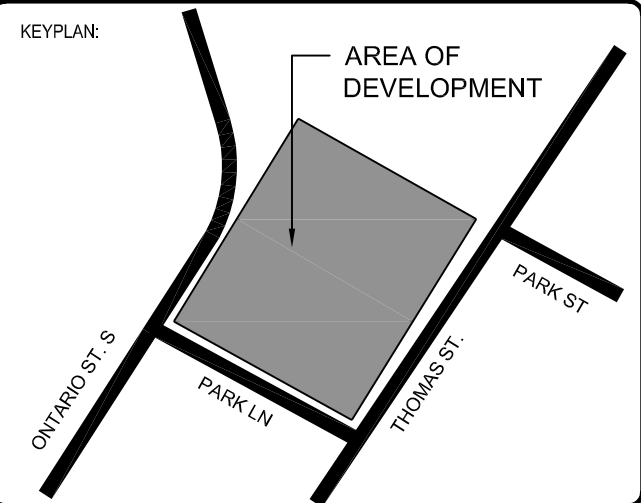
SITE DATA RESIDENTIAL ZONE 5 (R5)				
DESCRIPTION	PROPOSED	EXISTING	TOTAL	REQ'D BY ZBL
LOT AREA	8,978.7 m²	8,978.7 m²	8,978.7 m²	900 m² (UNIT 1) + 90 m² * 22 (UNIT 2 - 23) = 2,280 m² MIN.
LOT FRONTAGE	81.7 m	81.7 m	81.7 m	30.5 m MIN.
SET BACK	FRONT	9.7 m	17.0 m	9.7 m
	SIDE	INT.: 6.8 m EXT.: 16.8 m	INT.: 6.8 m EXT.: 61.1 m	INT.: 6.8 m EXT.: 16.8 m
	REAR	12.0 m	39.9 m	12.0 m
LOT DEPTH	66.2 m	66.2 m	66.2 m	37.0 m MIN.
LOT COVERAGE	8%	5%	13%	35% MAX
LANDSCAPED OPEN SPACE	68%	83%	68%	35% MIN
ACCESSORY BUILDING AREA	0	0	0	-
BUILDING AREA (GROUND FLOOR)	696 m²	493 m²	1,189 m²	-
GROSS BUILDING AREA (TOTAL ALL FLOORS)	2,088 m²	493 m²	2,581 m²	-
NO. PARKING SPACES	31.0	-	31.0	1.25 PER UNIT * 23 UNITS = 28.75 SPACES
NO. B.F. SPACES	4.0	-	4.0	1 PER 25 SPACES
BUILDING HEIGHT	11.7 m	8.5 m	11.7 m	13.5 m MAX
NO. STOREYS	3.0	-	3.0	3 MAX
NO. DWELLING UNITS	23	-	23	-
DRIVEWAY WIDTH AT PROPERTY LINE	7.6 m	6.9 m	7.6 m	9.0 m MAX

- TOPO SURVEY NOTES**
- PLAN OF EXISTING TOPOGRAPHICAL INFORMATION, IS BASED ON SURVEY DATED NOVEMBER 25, 2016. PREPARED BY NA GEOMATICS INC. ONTARIO LAND SURVEYORS.
 - ALL GRADES BASED ON GEODETIC DATUM. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.
 - SITE BENCH LOCATED AS THE FINISHED FLOOR LEVEL OF EXISTING STONE BUILDING ELEV= 311.88

PLANTING SCHEDULE		
NAME	QUANTITY	SIZE
RED MAPLE (ACER RUBRUM)	3	1.8 M HIGH
HOSTA (TOKUDAMA FLAVOCIRCINALIS)	20	1 GALLON
SUMAC (RHUS TYPHINA)	36	1 GALLON
GREY DOGWOOD (CORNUS REACEMOSA)	10	1 GALLON
CEDAR SGRUB (THYJA OCCIDENTALIS)	8	1 GALLON

NOTE

LOTS 14, 15, 16, 17, 18, 19 & 20 ON THE WEST SIDE OF THOMAS STREET and LOTS 16, 17, 18, 19 & 20 ON THE EAST SIDE OF THOMAS STREET, REGISTERED PLAN NO. 235, IN THE TOWN OF ST. MARYS.



REV	DATE	DESCRIPTION	DWNGK	APPR
8	2018MAY22	REISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
7	2018MAY17	REISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
6	2018APR25	REISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
5	2018MAR28	RE-ISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
4	2018FEB23	ISSUED FOR SITE PLAN APPLICATION	JHPRM	KDR
3	2018FEB20	ISSUED FOR CLIENT REVIEW	JHPRM	KDR
2	2018FEB05	AS PER ULTRA COMMENTS	KDRBPM	KDR
1	2017FEB01	ISSUED FOR CLIENT REVIEW	KDRBPM	KDR
0	2017DEC21	ISSUED FOR ZONING AMENDMENT	KDRBPM	KDR
2	2017DEC18	ISSUED FOR CLIENT REVIEW	KDRBPM	KDR

DISCLAIMER:
CONTRACTOR TO REVIEW DRAWINGS AND VERIFY DIMENSIONS ON SITE.
REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION AND/OR SHOP FABRICATION.
ALL DRAWINGS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF NA ENGINEERING INC. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM NA ENGINEERING ASSOCIATES INC.

NA ENGINEERING ASSOCIATES INC.
Consulting Engineers

STRATFORD 107 ERIE ST (519) 273 3205
LONDON 90 ALBERT ST (519) 432 0000
KINCARDINE 933 QUEEN ST (519) 396 1000
PICKERING 1305 PICKERING PKWY (416) 278 7991

Structural • Municipal • Mechanical • Electrical
Environmental • Fire Protection • Building Science
www.naeng.com

APPROVED BY:

VERIFIED BY:

CLIENT:

WILDWOOD HOMES
1436 KILALLY ROAD, SIDE UNIT
LONDON, ON.
N5V 5A3
519-284-3402

PROJECT:

NEW HOUSEING DEVELOPMENT AT
121 ONTARIO ST.
ST. MARYS, ON.

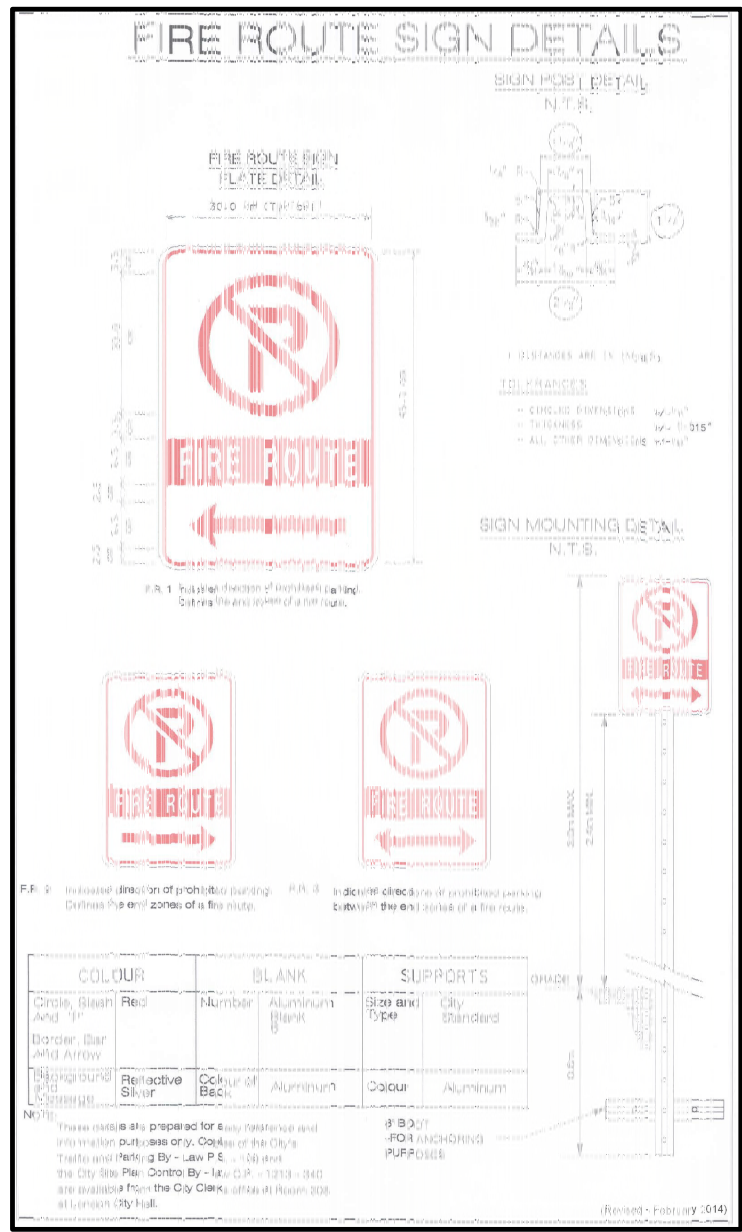
DRAWING TITLE:

PROPOSED SITE PLAN

EC NO:	DWN:	CHK:	APPROVED BY:
	JH/KDR	BPM	KDR
DATE OF ISSUE:	FILE NO:	SUPV DESIGN ENG:	
2018MAY22	17-1092C_Aa	-	
SCALE:	SIZE:	SUB-TYPE:	PROJECT NO:
AS SHOWN	D		17-1092

CLIENT DWG NO:			
DWG NO:	A101		REV: 8

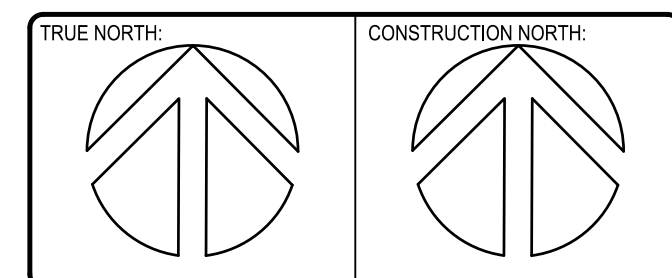
Schedule "A Drawing 1



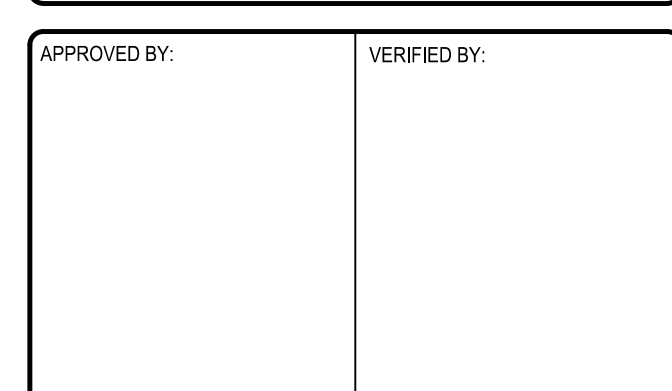


1 EXISTING SITE & GRADING PLAN
C101 SCALE: 1:250

TOPO SURVEY NOTES	
1.	PLAN OF EXISTING TOPOGRAPHICAL INFORMATION, IS BASED ON SURVEY DATED NOVEMBER 25, 2016. PREPARED BY NA GEOMATICS INC, ONTARIO LAND SURVEYORS.
2.	ALL GRADES BASED ON GEODETTIC DATUM. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.
3.	SITE BENCH LOCATED AS THE FINISHED FLOOR LEVEL OF EXISTING STONE BUILDING ELEV= 311.88



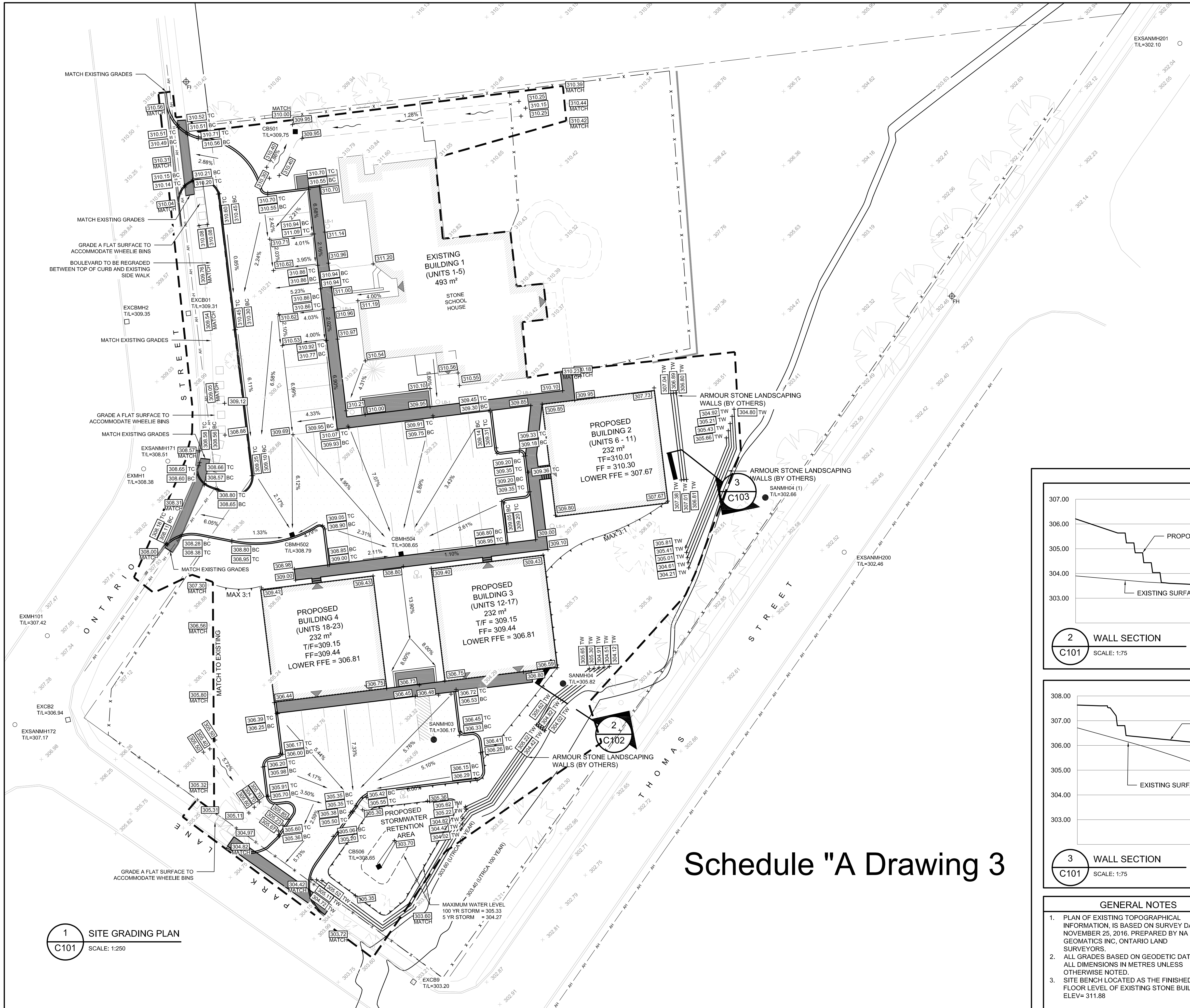
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PROJECT:
MULTI DWELLING DEVELOPMENT AT
121 ONTARIO ST.
ST. MARYS, ON.

EC NO:	DWN: JH/KDR	CHK: BPM	APPROVED BY: KDR
DATE OF ISSUE: 2018APR25	FILE NO: 17-1092C_Aa		SUPV DESIGN ENG: -
SCALE: AS SHOWN	SIZE: D	SUB-TYPE:	PROJECT NO: 17-1092

Page 69 of 100



TYPICAL LEGEND

FH Φ FIRE HYDRANT
GV \odot WATER VALVE
STMH \bullet GAS VALVE
STMH \circ NEW STORM MANHOLE
SAMH \bullet EXISTING STORM MANHOLE
SAMH \circ NEW SANITARY MANHOLE
SAMH \circ EXISTING SANITARY MANHOLE
CB \blacksquare NEW CATCH BASIN
CB \square EXISTING CATCH BASIN
CBMH \blacksquare NEW STORM CATCH BASIN MANHOLE
CBMH \square EXISTING STORM CATCH BASIN MANHOLE
X.X% DIRECTION OF SURFACE WATER FLOW
X.X% DIRECTION OF SWALE WATER FLOW

EXISTING ELEVATION
-100.00- PROPOSED ELEVATION
-100.00- BC PROPOSED ELEVATION - BOTTOM CURB
-100.00- TC PROPOSED ELEVATION - TOP CURB

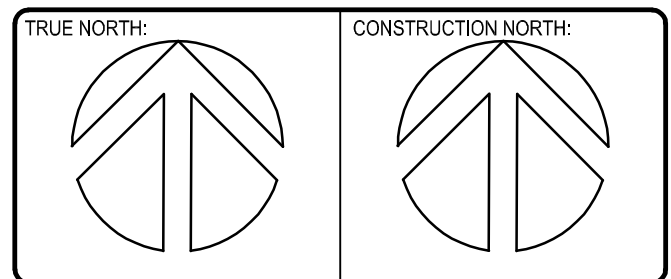
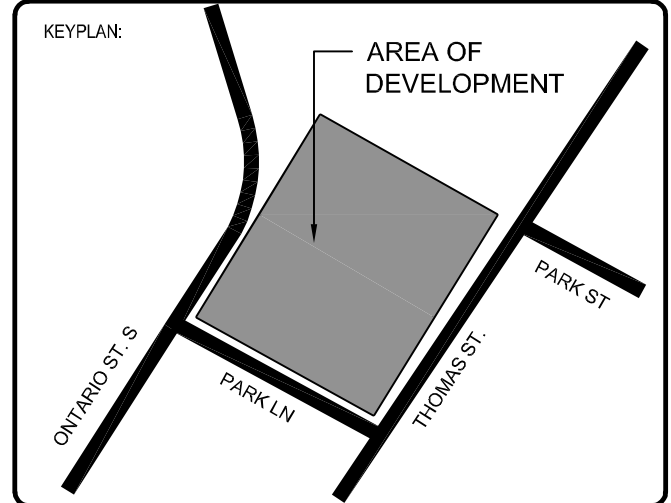
W EXISTING WATERMAIN
W NEW WATERMAIN
ST EX. STORM WATER PIPE
ST NEW STORM WATER PIPE
SA EX. SANITARY PIPE
SA NEW SANITARY PIPE

OLP LIGHT POLE
OLP UTILITY POLE
OBOL BOLLARD
OLS-1 LIGHT STANDARD- RAB AL1-LED
OLS-2 LIGHT BOLLARD- RAB RAY6-LED

X FENCE
SIGN SIGN
X HYDRO TOWER
PED PEDESTAL

UE LIMIT OF WORK
C UNDERGROUND ELECTRICAL
C CABLE LINE
FILT FENCE
P PROPERTY LINE
U UTILITY
SP SPRINKLER PIPE
TOP OF BANK

INDICATES NEW CONCRETE
INDICATES NEW ASPHALT



REV	DATE	DESCRIPTION	DWNGK	APPR
4	2018MAY22	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR
3	2018MAY17	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR
2	2018APR25	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR
1	2018MAR28	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR
0	2018FEB23	ISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR
A	2017DEC18	ISSUED FOR CLIENT REVIEW	KDRBPM	KDR

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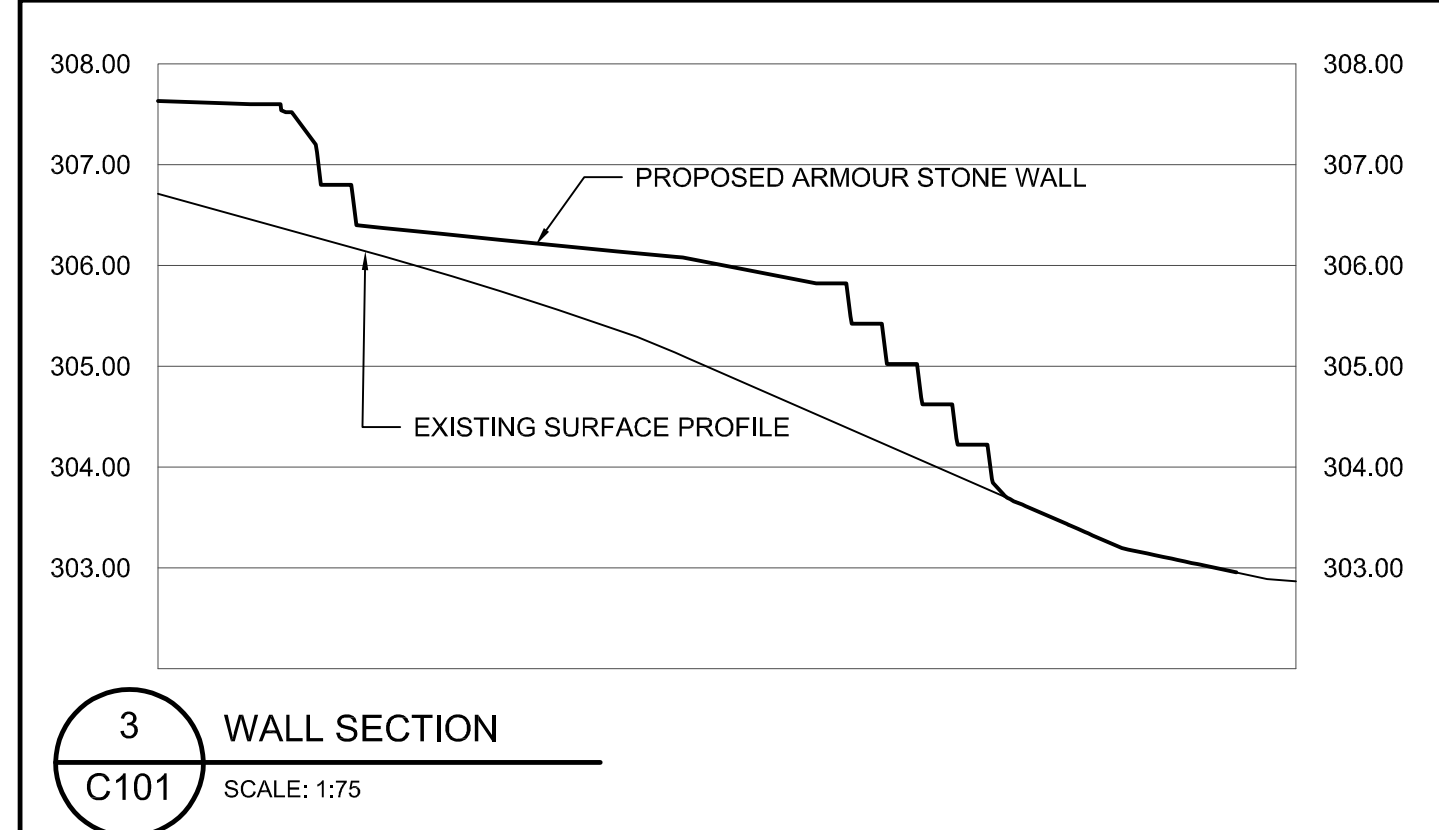
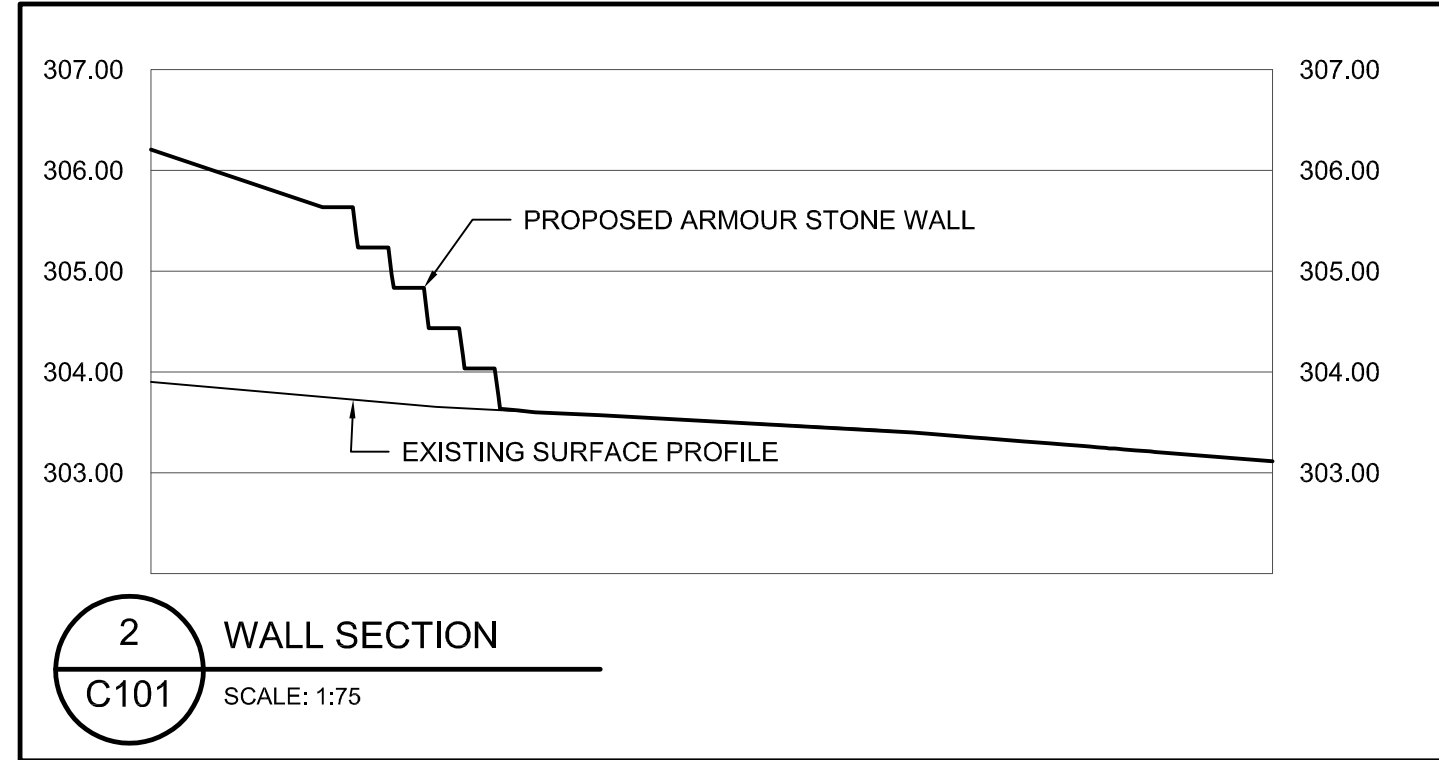
PROJECT:
DEVELOPMENT FEASIBILITY STUDY
121 ONTARIO ST.
ST. MARYS, ON.

DRAWING TITLE:
SITE GRADING PLAN

EC NO:	DWN:	CHK:	APPROVED BY:
	KDR	BPM	KDR
DATE OF ISSUE:	FILE NO:	SUPV DESIGN ENG:	
2018MAY22	17-1092C_Aa	-	
SCALE:	SIZE:	SUB-TYPE:	PROJECT NO:
AS SHOWN	D		17-1092

CLIENT DWG NO: _____

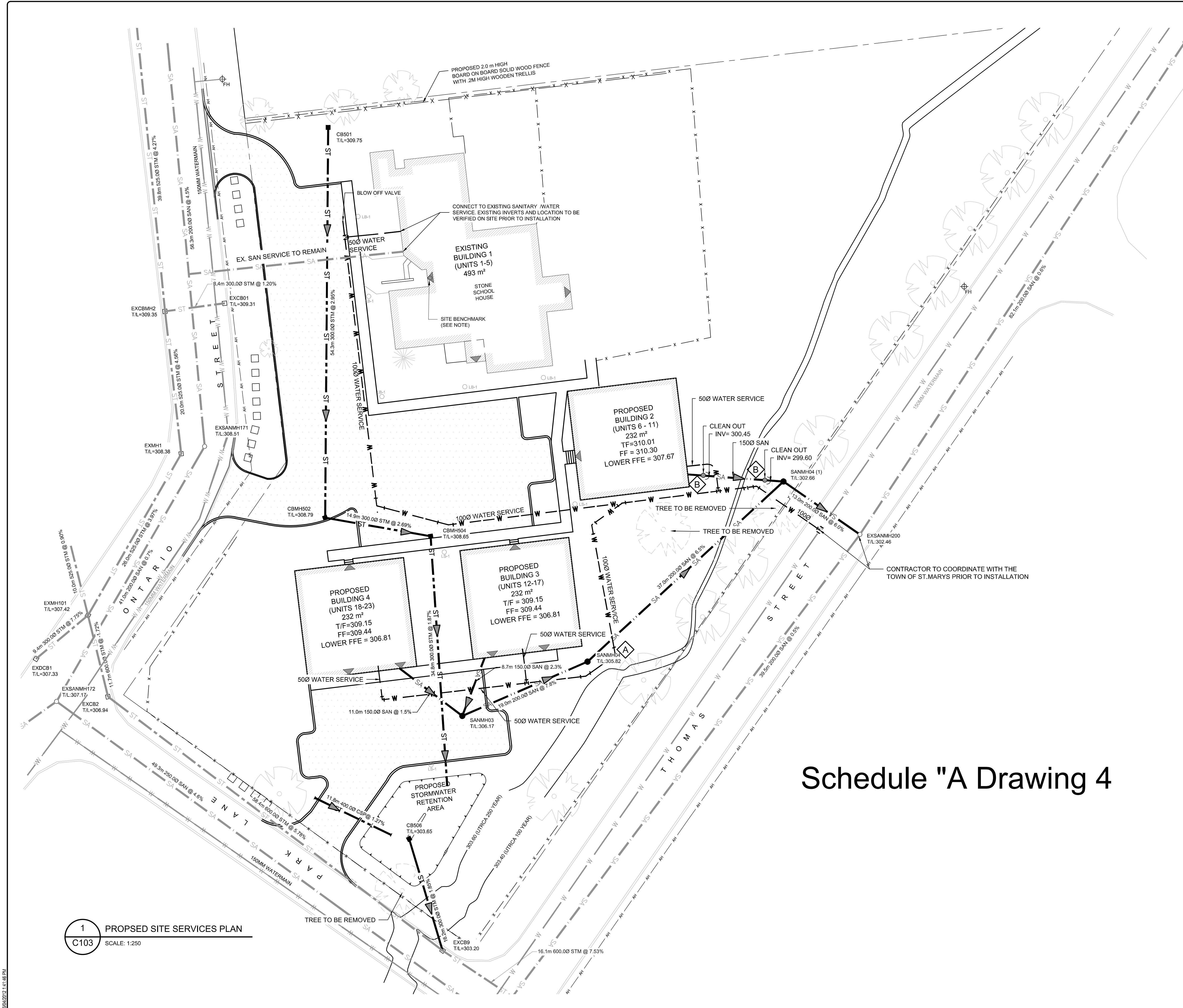
DWG NO: **C102** REV: **4**



- GENERAL NOTES**
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 - SITE BENCH LOCATED AS THE FINISHED FLOOR LEVEL OF EXISTING STONE BUILDING ELEV= 311.88

- TOPO SURVEY NOTES**
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Schedule "A Drawing 3



TYPICAL LEGEND

FM	FIRE HYDRANT
STMH	NEW STORM MANHOLE
STMH	EXISTING STORM MANHOLE
SAMH	NEW SANITARY MANHOLE
SAMH	EXISTING SANITARY MANHOLE
CB	NEW CATCH BASIN
CB	EXISTING CATCH BASIN
CBMH	NEW STORM CATCH BASIN MANHOLE
CBMH	EXISTING STORM CATCH BASIN MANHOLE
W	EXISTING WATERMAIN
W	NEW WATERMAIN
ST	EX. STORM WATER PIPE
ST	NEW STORM WATER PIPE
SA	EX. SANITARY PIPE
SA	NEW SANITARY PIPE
UP	LIGHT POLE
UP	UTILITY POLE
LS-1	LIGHT STANDARD- RAB AL1-LED
LS-2	LIGHT BOLLARD - RAB RAY6-LED
X	FENCE
SIGN	SIGN
---	PROPERTY LINE
AH	AERIAL HYDRO
---	TOP OF BANK
---	PIPE FLOW DIRECTION
---	GUY POLE
■	INDICATES NEW CONCRETE
■	INDICATES NEW ASPHALT

NOTES

A INSTALL EXTERNAL DROP STRUCTURE AS PER OPSD 1003.030

B 45° VERTICAL BEND c/w CLEANOUT COMPRISED OF TEE-WHY FITTING AND 150 VERTICAL RISER & CAP TO SUIT.

SANITARY		STORM	
INVERTS CHART		INVERTS CHART	
NO.	INVERTS	NO.	INVERTS
EXSANMH200	NE - 298.700 SW - 298.700 NW - 298.730	EXCB9	N - 301.700 SE - 301.610 NW - 301.610
SANMH03	NE - 304.770 N - 304.800 NW - 304.830	EXCB2	N - 305.000 SE - 304.990
EXSANMH172	NE - 305.620 SE - 304.520 SW - 305.670	CBMH502	N - 306.150 E - 306.100
EXSANMH173	NW - 301.017 SW - 298.347 NE - 298.308	EXMH1	N - 306.590 SW - 306.510
EXSANMH201	SW - 299.200	EXCBMH2	N - 307.520 S - 307.500 E - 307.800
SANMH04 (1)	SW - 299.540 SE - 299.510 W - 299.570	EXMHCB10	NE - 301.650
SANMH04	SW - 303.286 NE - 301.950	EXMH101	NE - 305.480 S - 304.800 SW - 305.900 N - 305.710
EXSANMH171	SW - 305.920 N - 306.120	EXDCB1	NE - 306.630
		CB506	S - 302.000
		CB501	S - 307.750
		EXMHCB9	SW - 301.150 SE - 300.400 NW - 300.400
		CBMH504	W - 305.700 S - 305.650
		EXCB01	W - 307.700

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KEYPLAN:

AREA OF DEVELOPMENT

ONTARIO ST
PARK LN
THOMAS ST

TRUE NORTH
CONSTRUCTION NORTH

-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
6	2018MAY22	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR	
5	2018MAY17	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR	
4	2018APR26	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR	
3	2018MAR22	REISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR	
2	2018FEB23	ISSUED FOR SITE PLAN APPLICATION	JHKOR	KDR	
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0	2017DEC21	ISSUED FOR ZONING AMENDMENT	KDRBPM	KDR	
A	2017DEC18	ISSUED FOR CLIENT REVIEW	KDRBPM	KDR	
REV	DATE	DESCRIPTION	DWGCHK	APPR	

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1436 KILALLY ROAD, SIDE UNIT
LONDON, ON.
N5V 5A3
519-284-3402

PROJECT:

MULTI DWELLING DEVELOPMENT AT
121 ONTARIO ST.
ST. MARYS, ON.

DRAWING TITLE:

PROPOSED SITE SERVICES PLAN

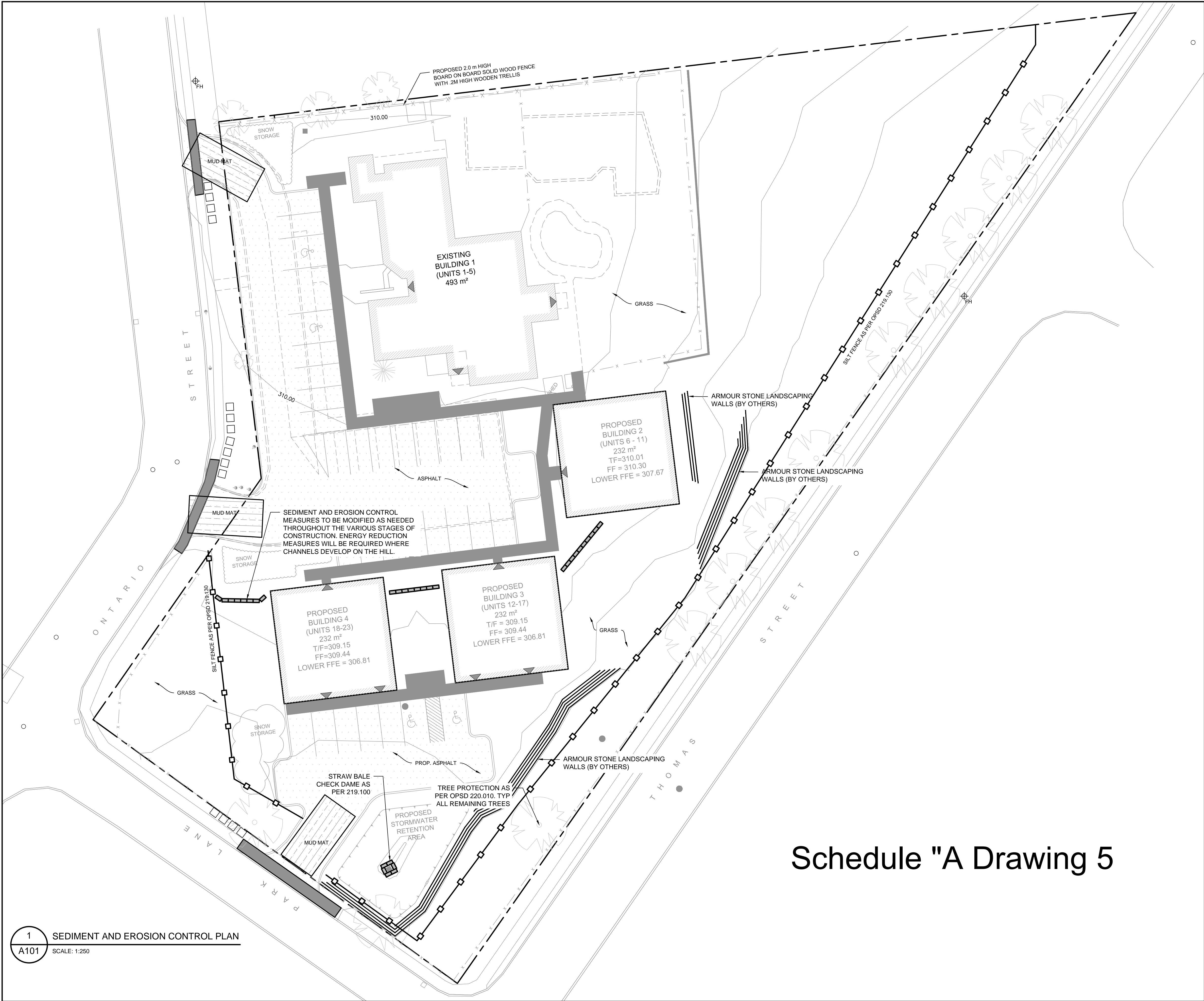
EC NO:	DWN:	CHK:	APPROVED BY:
	JH/KDR	BPM	KDR
DATE OF ISSUE:	FILE NO:	SUPV DESIGN ENG:	
2018MAY22	17-1092C_Aa	-	
SCALE:	SIZE:	SUB-TYPE:	PROJECT NO:
AS SHOWN	D		17-1092

CLIENT DWG NO:

DWG NO: **C103** REV: **6**

Schedule "A Drawing 4

1 PROPSD SITE SERVICES PLAN
C103 SCALE: 1:250



STMH●

STMH○

SAMH●

SAMH○

CB■

CB□

CBMH■

CBMH□

—

—

■

■

■

NEW STORM MANHOLE

EXISTING STORM MANHOLE

NEW SANITARY MANHOLE

EXISTING SANITARY MANHOLE

NEW CATCH BASIN

EXISTING CATCH BASIN

NEW STORM CATCH BASIN MANHOLE

EXISTING STORM CATCH BASIN MANHOLE

HEAVY DUTY SILT FENCE

PROPERTY LINE

INDICATES NEW CONCRETE

INDICATES NEW ASPHALT

STRAW BALE

SEDIMENT AND EROSION CONTROL NOTES

1. ALL CATCH BASINS AND MANHOLES ARE TO BE EQUIPPED WITH SILT SACS DURING THE CONSTRUCTION PERIOD.

2. 5m x 10m MUD MAT TO BE AT INSTALLED AT THE ENTRANCES OF THE SITE DURING CONSTRUCTION. STONE PAD TO BE A MINIMUM 450 mm THICK. FIRST 5 m TO BE 50 mm CLEAR STONE WITH THE REMAINING 5 m 150 mm RIP-RAP MATERIAL.

3. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.

4. PROTECT ALL CATCHBASINS, MANHOLES, SEWERS AND PIPE ENDS FROM SEDIMENT INTRUSION. THIS APPLIES TO ANY NECESSARY DEWATERING AND SHALL BE DISCHARGED INTO A TEMPORARY ON SITE SEDIMENT BASIN. CONTRACTOR TO CAP OPEN PIPE END AT DAY'S END OF PIPE CONSTRUCTION.

5. THE CONTRACTOR SHALL MINIMIZE AREA DISTURBED AND MAINTAIN EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

6. KEEP ALL SUMPS CLEAN DURING CONSTRUCTION. CONTRACTOR TO CLEAN AND REMOVE ACCUMULATED SEDIMENT FROM ALL SEDIMENT FENCE AND FLOW CHECKS ONCE SEDIMENT ACCUMULATION REACHED HALF OF THE HEIGHT OF THE STRUCTURE.

7. MONITOR WEATHER FORECASTS FOR PENDING SIGNIFICANT RAIN EVENTS AND CONDUCT INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES ON SITE PRIOR TO THE RAIN EVENT TO ENSURE THEIR PROPER INSTALLATION. MAKE CORRECTIVE MEASURES AS REQUIRED.

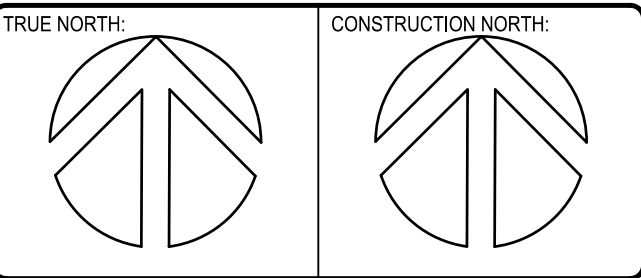
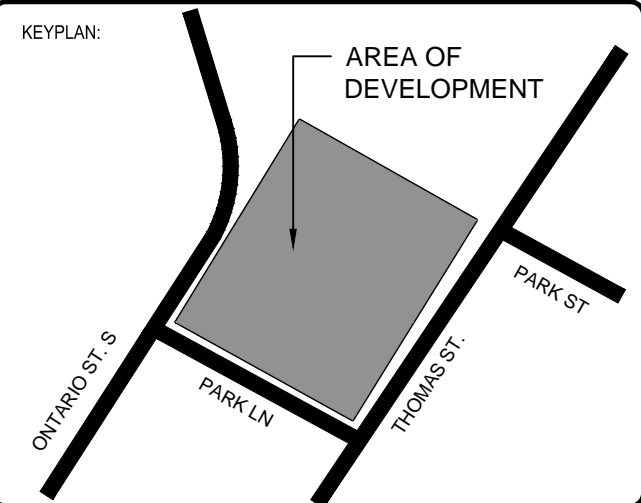
8. CONTRACTOR TO PREVENT WIND-BLOWN DUST.

9. SILT FENCES SHALL BE INSTALLED ALONG THE PROPERTY LINE ON ALL SIDES OF THE PROPERTY IN ACCORDANCE WITH OPSD 219.130.

10. DURING THE GRADING AND CONSTRUCTION OF THIS DEVELOPMENT, SILT FENCING OR OTHER EROSION/SEDIMENT CONTROL MEASURES, AS DEEMED NECESSARY, SHALL BE EMPLOYED AND INSTALLED ALONG THE BOUNDARIES OF EACH LOT (OR PARCEL) TO CONTROL AND PREVENT SEDIMENT TRANSPORT. ALL EROSION/SEDIMENT CONTROLS SHOULD BE REGULARLY INSPECTED AND MAINTAINED THROUGHOUT CONSTRUCTION AND SHOULD NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE. A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED AND AS DIRECTED BY THE ENGINEER OR THE MUNICIPALITY'S DESIGNATE. THE DEVELOPER OR HIS AGENT SHALL UNDERTAKE INSPECTIONS ON A REGULAR BASIS AND AFTER EACH SIGNIFICANT RAINFALL EVENT.

11. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.

12. ADDITIONAL SILT FENCING SHOULD BE AVAILABLE IN CASE IMMEDIATE REPAIR IS REQUIRED.



5	2018APR25	REISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
4	2018MAR28	REISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
3	2018FEB16	ISSUED FOR SITE PLAN APPLICATION	JHBPM	KDR
2	2018FEB05	AS PER UTRCA COMMENTS	KDRBPM	KDR
1	2017FEB01	ISSUED FOR CLIENT REVIEW	KDRBPM	KDR
0	2017DEC21	ISSUED FOR ZONING AMENDMENT	KDRBPM	KDR
2	2017DEC18	ISSUED FOR CLIENT REVIEW	KDRBPM	KDR
REV	DATE	DESCRIPTION	DWGCHK	APPD

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PROJECT:

MULTI DWELLING DEVELOPMENT AT
121 ONTARIO ST.
ST. MARYS, ON.

DRAWING TITLE:

PROPOSED SEDIMENT AND
EROSION CONTROL PLAN

EC NO:	DWN: JH/KDR	CHK: BPM	APPROVED BY: KDR
DATE OF ISSUE: 2018APR25	FILE NO: 17-1092C_Aa	SUPV DESIGN ENG: -	
SCALE: AS SHOWN	SIZE: D	SUB-TYPE: PROJECT NO: 17-1092	

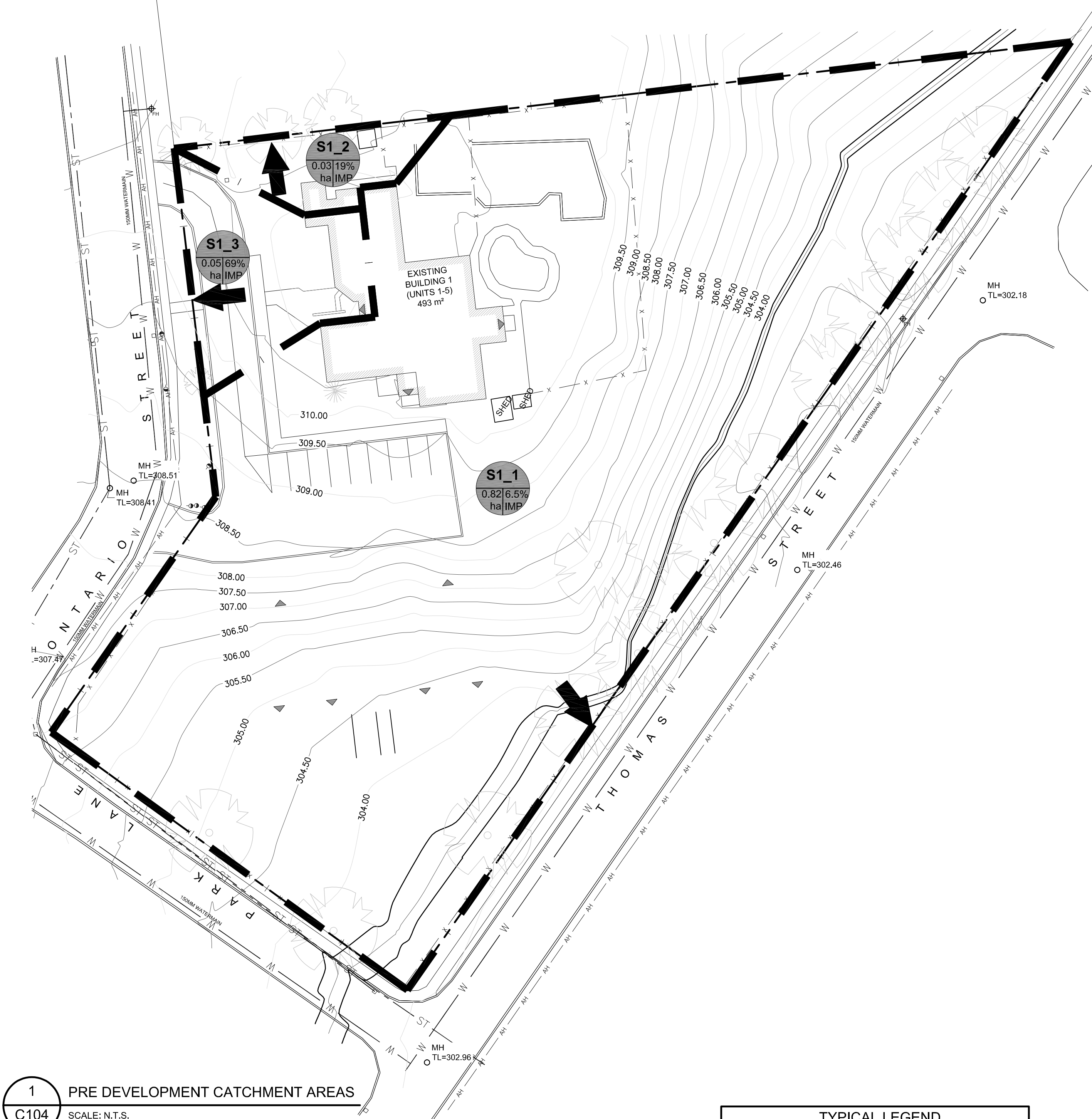
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DWG NO: C104

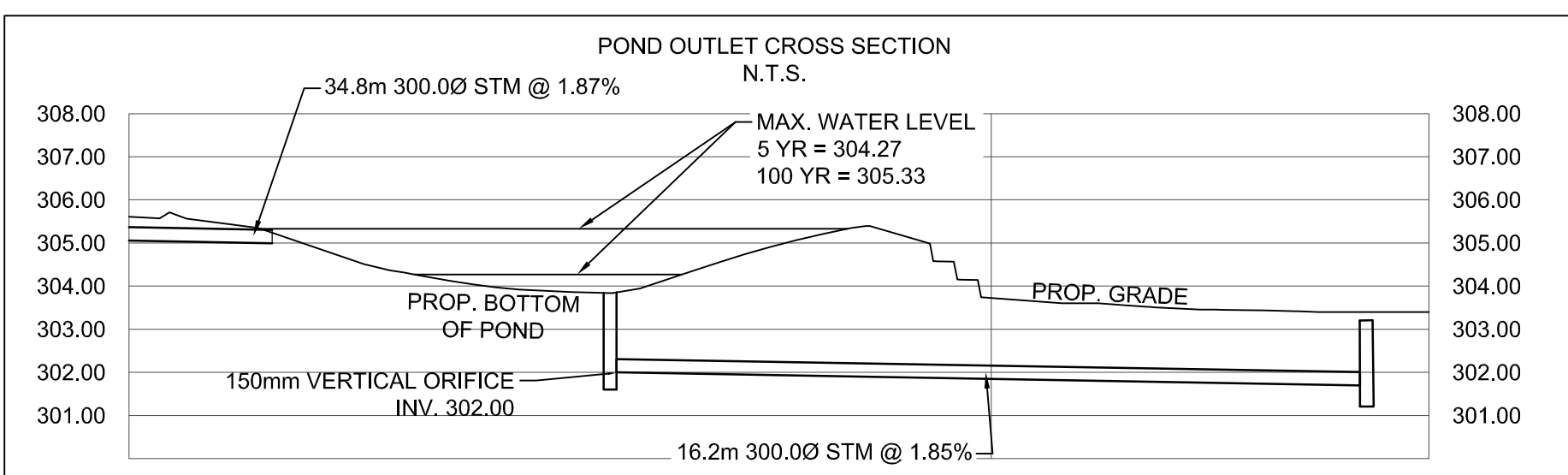
REV: 5

Schedule "A Drawing 5

Schedule "A Drawing 6

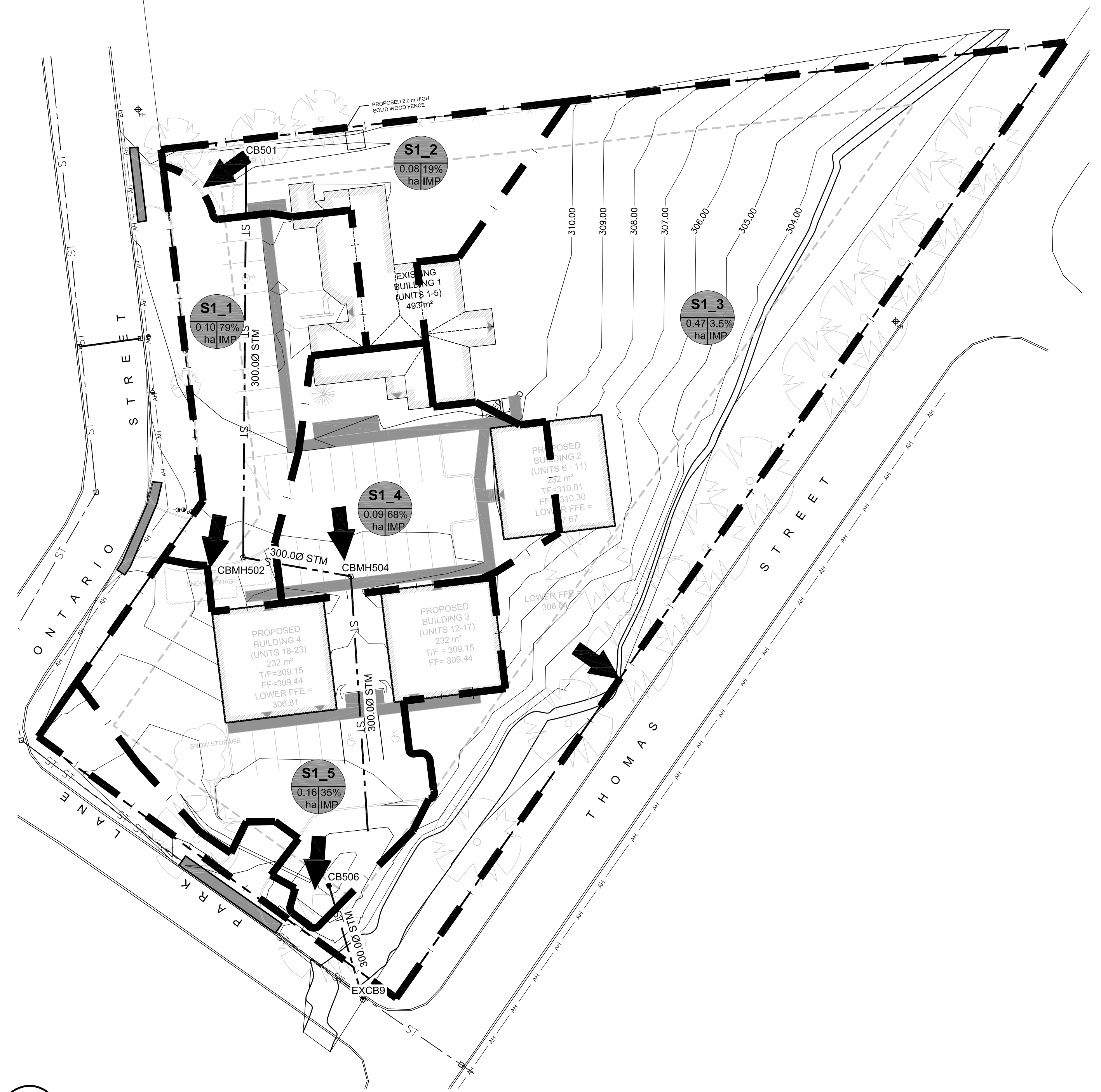


1 PRE DEVELOPMENT CATCHMENT AREAS
C104 SCALE: N.T.S.



TYPICAL LEGEND

- STMH ● NEW STORM MANHOLE
- STMH ○ EXISTING STORM MANHOLE
- SAMH ● NEW SANITARY MANHOLE
- SAMH ○ EXISTING SANITARY MANHOLE
- CB ■ NEW CATCH BASIN
- CB □ EXISTING CATCH BASIN
- CBMH ■ NEW STORM CATCH BASIN MANHOLE
- CBMH ○ EXISTING STORM CATCH BASIN MANHOLE
- EMH ○ EXISTING ELECTRICAL MANHOLE
- SUB-CATCHMENT BOUNDARY
- w- EXISTING WATERMAIN
- w- NEW WATERMAIN
- st- PROP. STORM WATER PIPE
- st- PROP. STORM WATER PIPE
- st- PROPERTY LINE
- ➔ OVERLAND FLOW ROUTE
- S1_1 CATCHMENT NAME
- 0.82/3% IMPERVIOUS
- AREA (ha)



2 POST DEVELOPMENT CATCHMENT AREAS
C104 SCALE: N.T.S.

TABLE 1: STORMWATER MANAGEMENT INPUT DATA

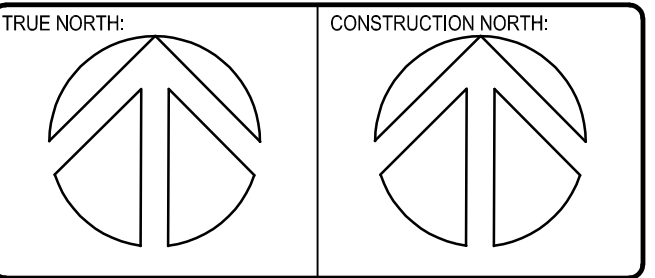
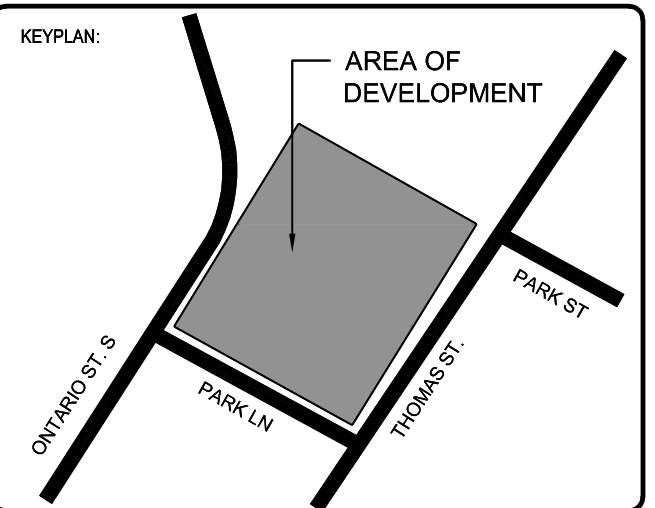
SUB-CATCHMENT	AREA (ha)	% IMPERVIOUS	SLOPE (%)	FLOW LENGTH (m)	N	N PERV	DSTORE IMPERV (mm)	DSTORE PERV (mm)	SCS CURVE
PRE-DEVELOPMENT CONDITIONS									
S1_1	0.82	6.5	12	95	0.013	0.24	2.5	5	79
S1_2	0.03	19	15	11	0.013	0.24	2.5	5	79
S1_3	0.05	69	6.5	20	0.013	0.24	2.5	5	79
POST-DEVELOPMENT CONDITIONS									
S1_1	0.1	79	8	45	0.013	0.24	2.5	5	79
S1_2	0.08	19	15	13	0.013	0.24	2.5	5	79
S1_3	0.47	3.5	20	56	0.013	0.24	2.5	5	79
S1_4	0.09	68	4.5	33	0.013	0.24	2.5	5	79
S1_5	0.16	35	17	34	0.013	0.24	2.5	5	79

TABLE 3: SWM POND STORAGE & WATER LEVEL

RETURN PERIOD (YEARS)	AVAILABLE STORAGE (m³)	REQUIRED STORAGE (m³)	MAXIMUM WATER ELEVATION (m)	MAXIMUM DEPTH (m)
2		40	303.99	0.29
5		70	304.27	0.57
10		90	304.56	0.86
25	112.73	108	305.16	1.46
50		110	305.29	1.59
100		111	305.33	1.63

TABLE 2: PRE-DEVELOPMENT VS POST-DEVELOPMENT RUNOFF RATES

OUTLET	RETURN PERIOD (YEARS)	PRE-DEVELOPMENT SUB-CATCHMENT	DEVELOPMENT RUNOFF RATE	DEVELOPMENT SUB-CATCHMENT	POST-DEVELOPMENT UNCONTROLLED	POST-DEVELOPMENT CONTROLLED	TOTAL	DIFFERENCE POST - PRE (L/s)
SOUTH / SOUTH EAST - THOMAS ST. AND PARK LANE	2	S1_1	30.85	S1_1, S1_2, S1_3, S1_4 & S1_5	24.79	19.59	42.05	11.40
	5		82.04		58.92	31.59	87.13	5.09
	10		118.58		80.47	40.63	116.42	-2.16
	25		164.91		110.11	55.07	155.61	-9.30
	50		199.98		134.58	72.06	188.87	-11.11
NORTH - NEIGHBOURING PROPERTY	2	S1_2	235.36		159.66	123.86	247.96	12.60
	5		2.65		0	0	0	-2.65
	10		4.92		0	0	0	-4.92
	25		6.40		0	0	0	-6.40
	50		8.34		0	0	0	-8.34
WEST - ONTARIO ST.	2	S1_3	9.80		0	0	0	-9.80
	5		11.28		0	0	0	-11.28
	10		8.77		0	0	0	-8.77
	25		13.62		0	0	0	-13.62
	50		16.81		0	0	0	-16.81
TOTAL	2	S1_1, S1_2 & S1_3	20.88	S1_1, S1_2, S1_3, S1_4 & S1_5	24.79	19.59	42.05	-0.02
	5		23.92		58.92	31.59	87.13	-13.45
	10		27.13		80.47	40.63	116.42	-25.37
	25		194.13		110.11	55.07	155.61	-38.52
	50		233.70		134.58	72.06	188.87	-44.83
	100		273.77		159.66	123.86	247.96	-25.81



REV	DATE	DESCRIPTION	DWG/CHK	APPD
2	2018FEB23	ISSUED FOR SITE PLAN APPLICATION	KDR/BPM	KDR
1	2018FEB01	ISSUED FOR CLIENT REVIEW	KDR/BPM	KDR
0	2017DEC21	ISSUED FOR ZONING AMENDMENT	KDR/BPM	KDR
A	2017DEC18	ISSUED FOR CLIENT REVIEW	KDR/BPM	KDR

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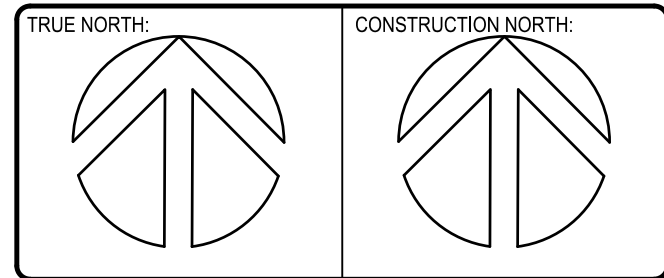
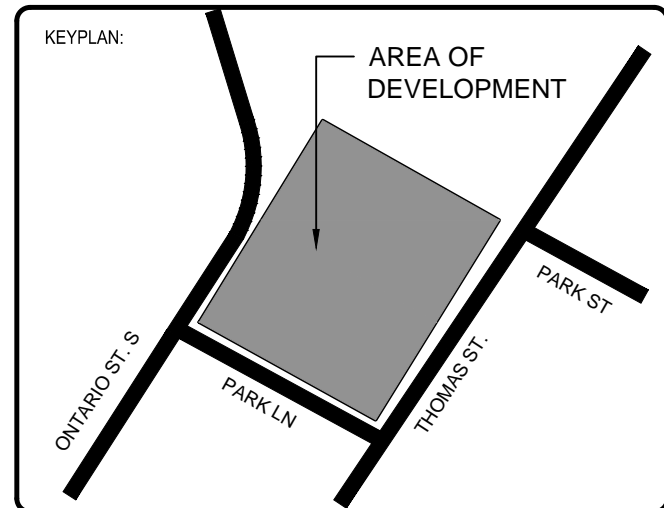
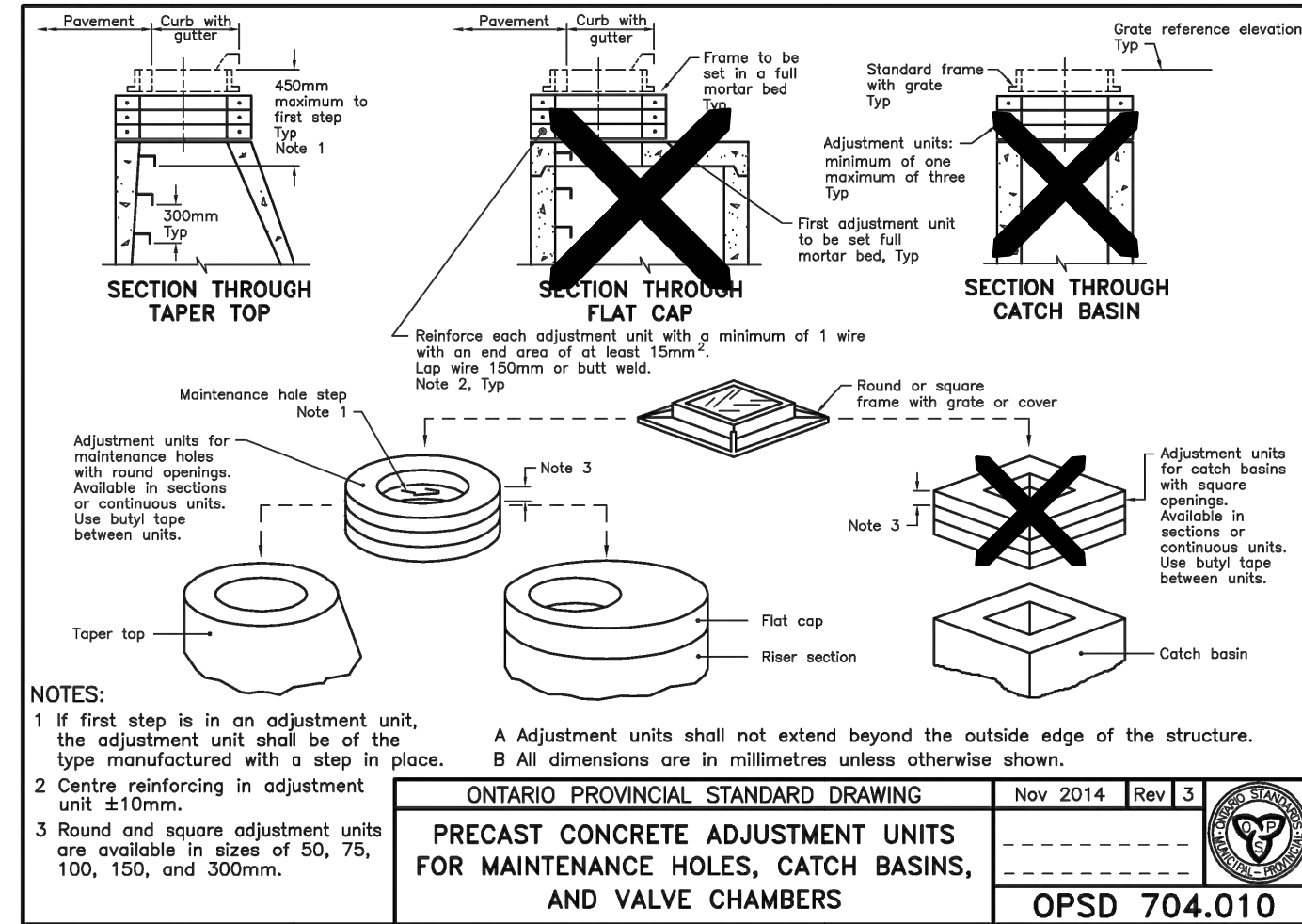
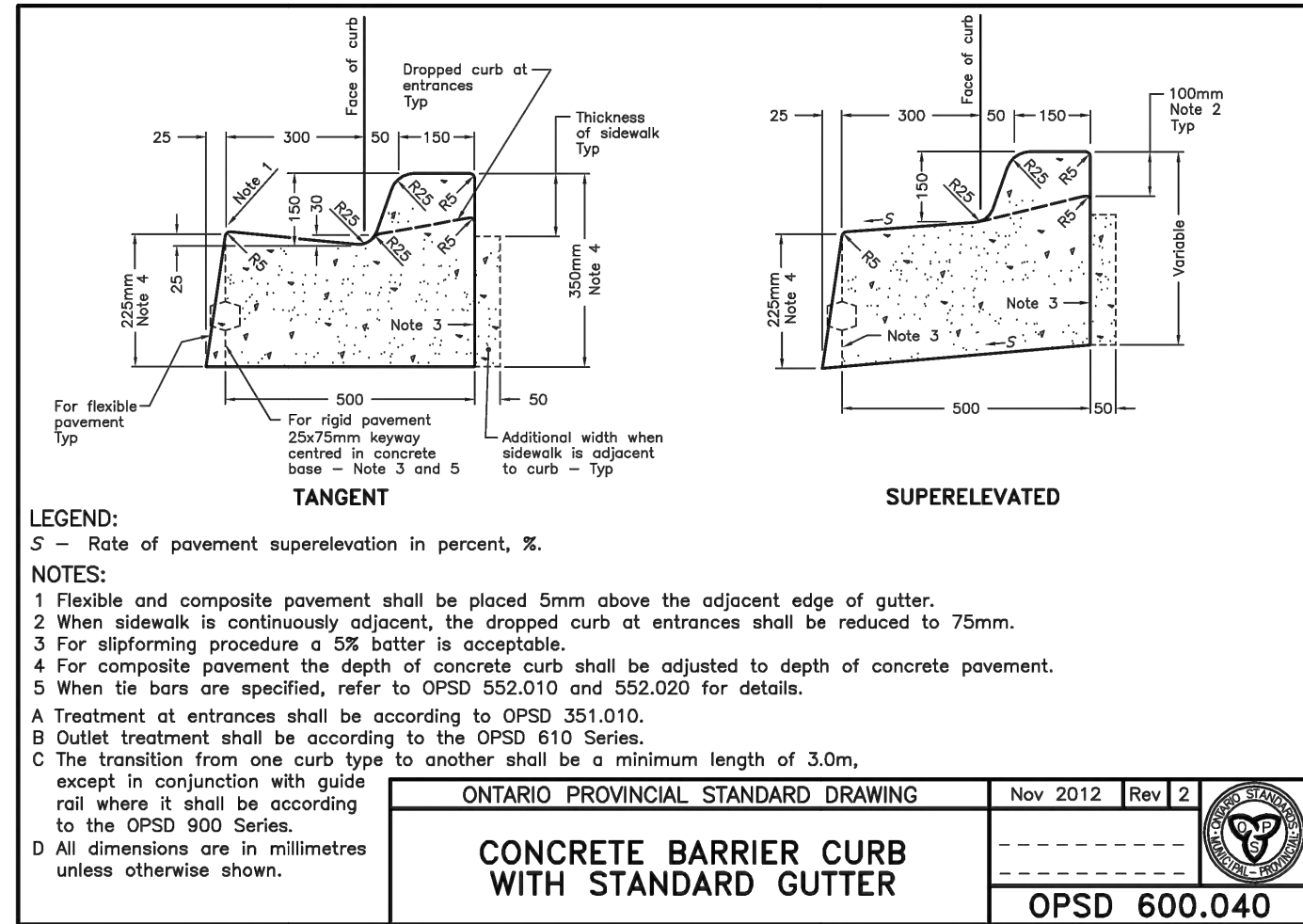
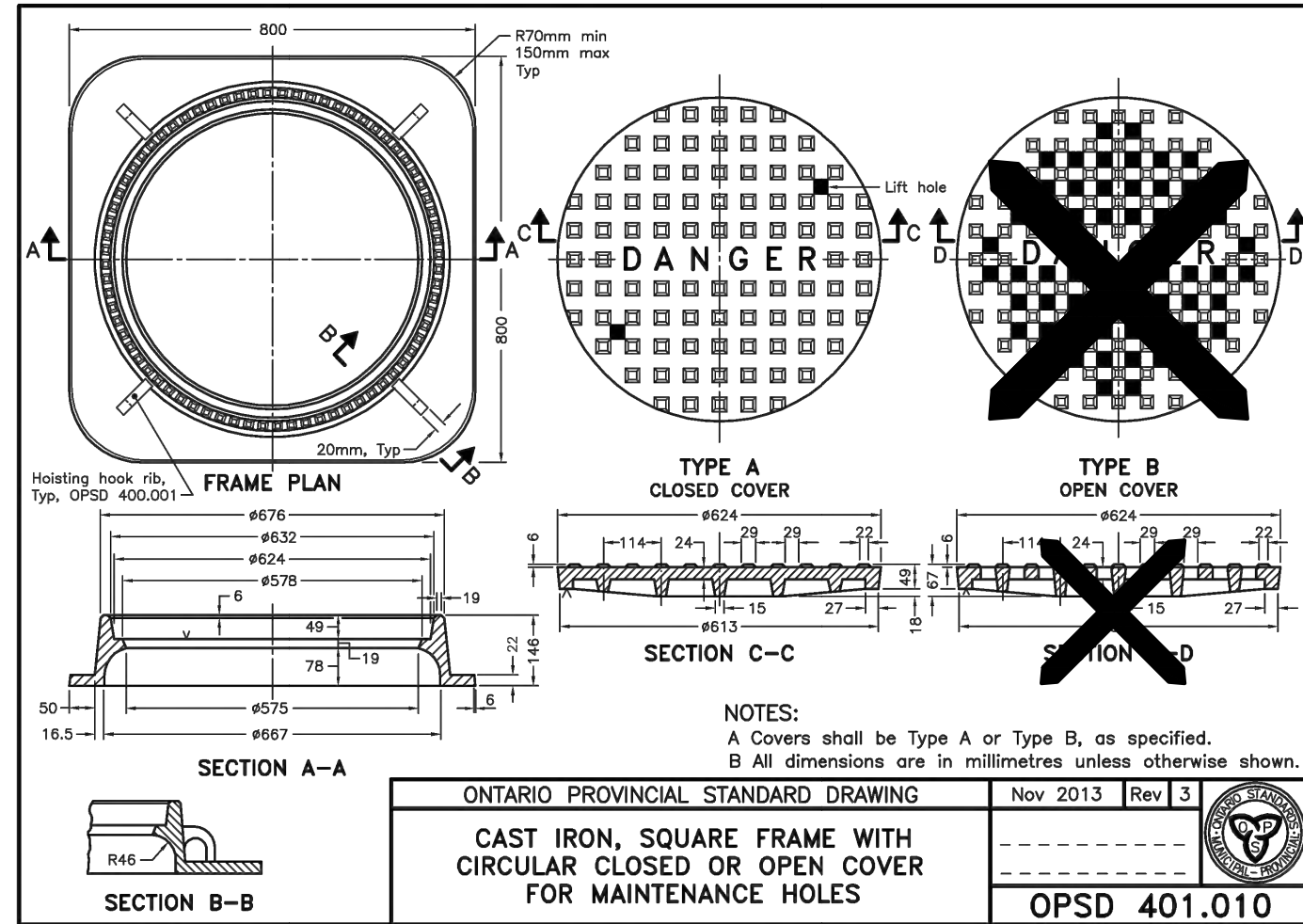
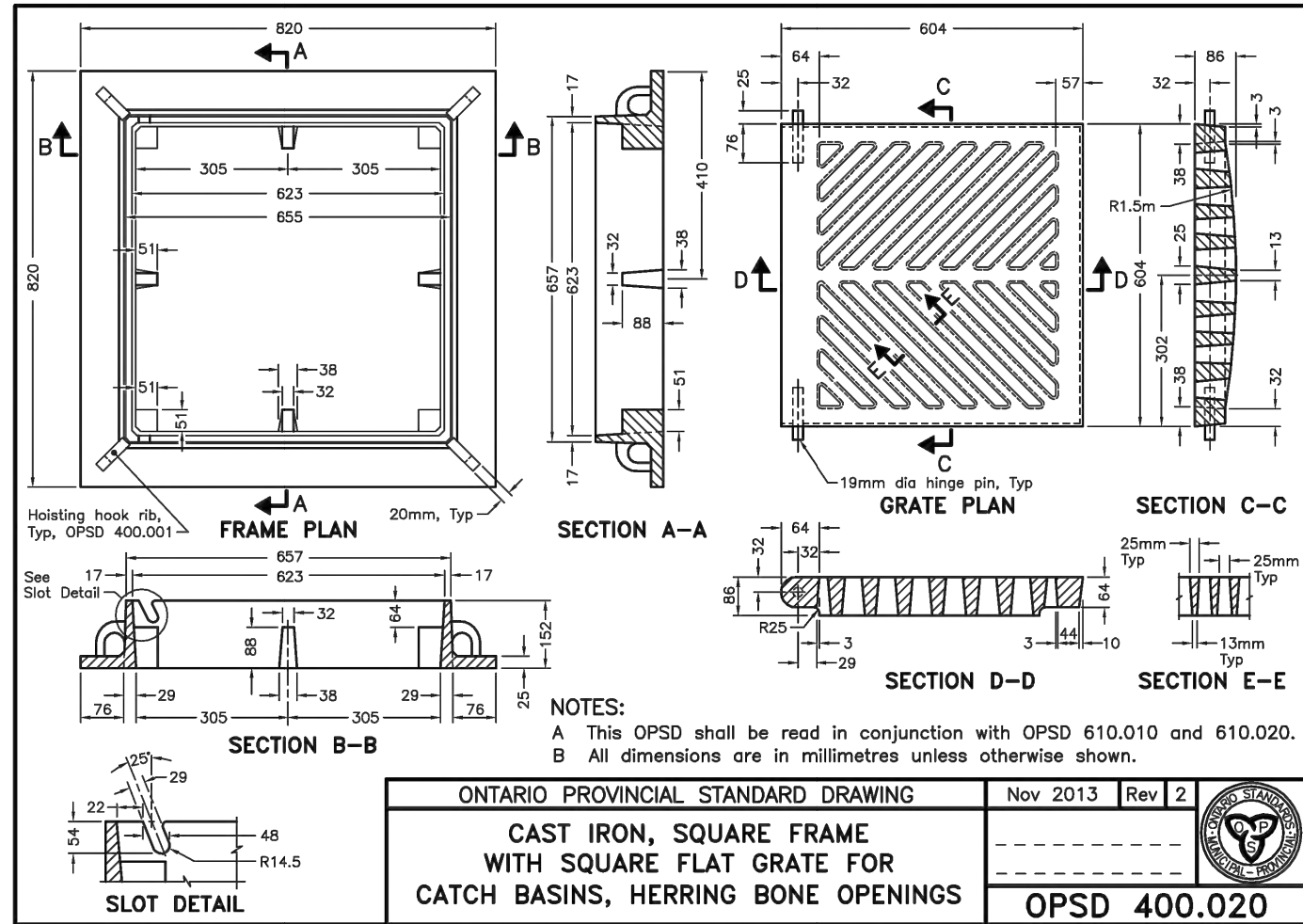
CLIENT:
WILDWOOD HOMES
1436 KILALLY ROAD, SIDE UNIT
LONDON, ON.
N5V 5A3
519-284-3402

PROJECT:
MULTI DWELLING DEVELOPMENT AT
121 ONTARIO ST.
ST. MARYS, ON.

DRAWING TITLE:
PROPOSED SITE SERVICES PLAN

EC NO: _____ DWN: JH/KDR CHK: BPM APPROVED BY: KDR
DATE OF ISSUE: 2018FEB23 FILE NO: 17-1092C_Aa SUPV DESIGN ENG: -
SCALE: AS SHOWN SIZE: D SUB-TYPE: PROJECT NO: 17-1092

CLIENT DWG NO: _____
DWG NO: C105 REV: 2



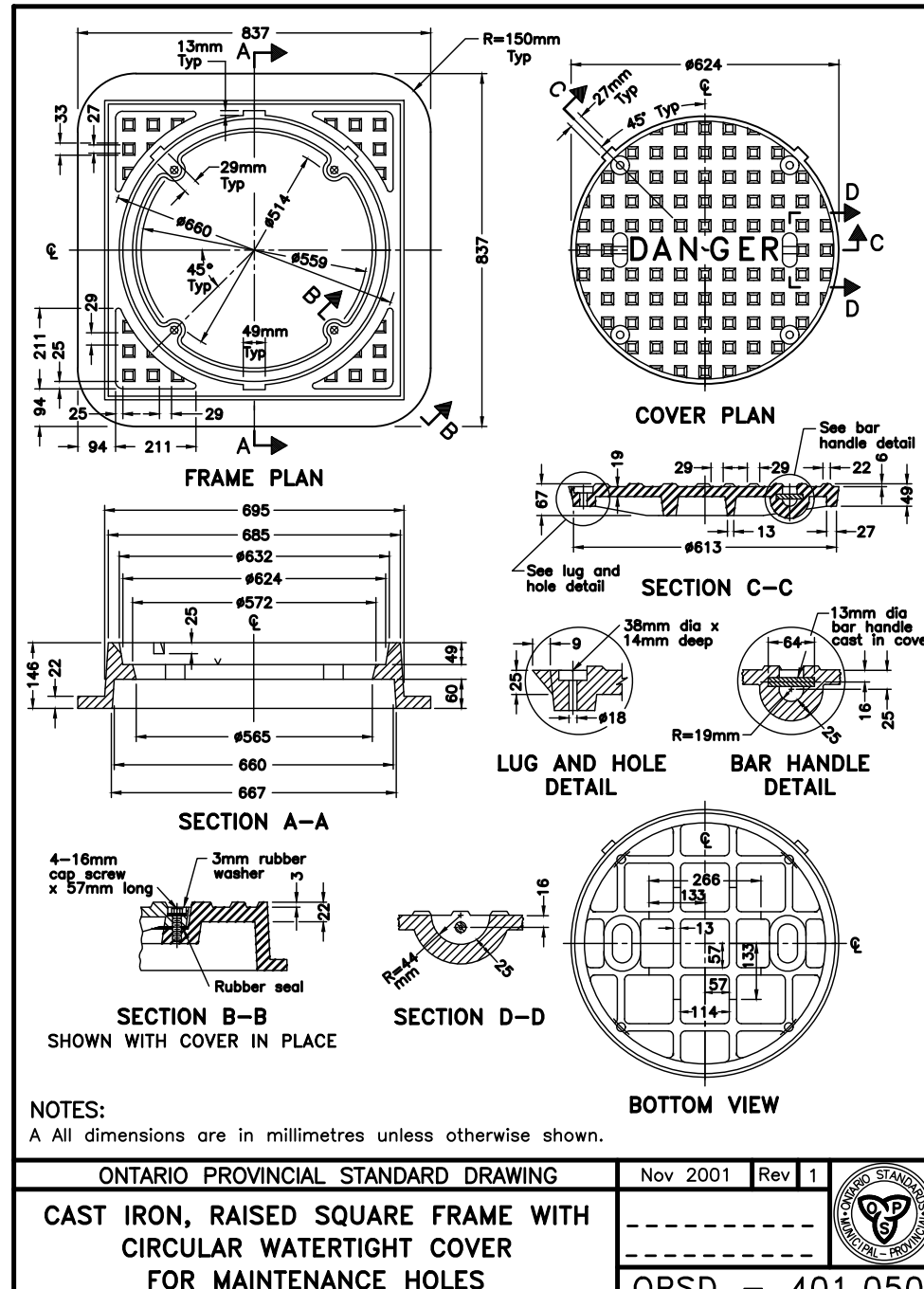
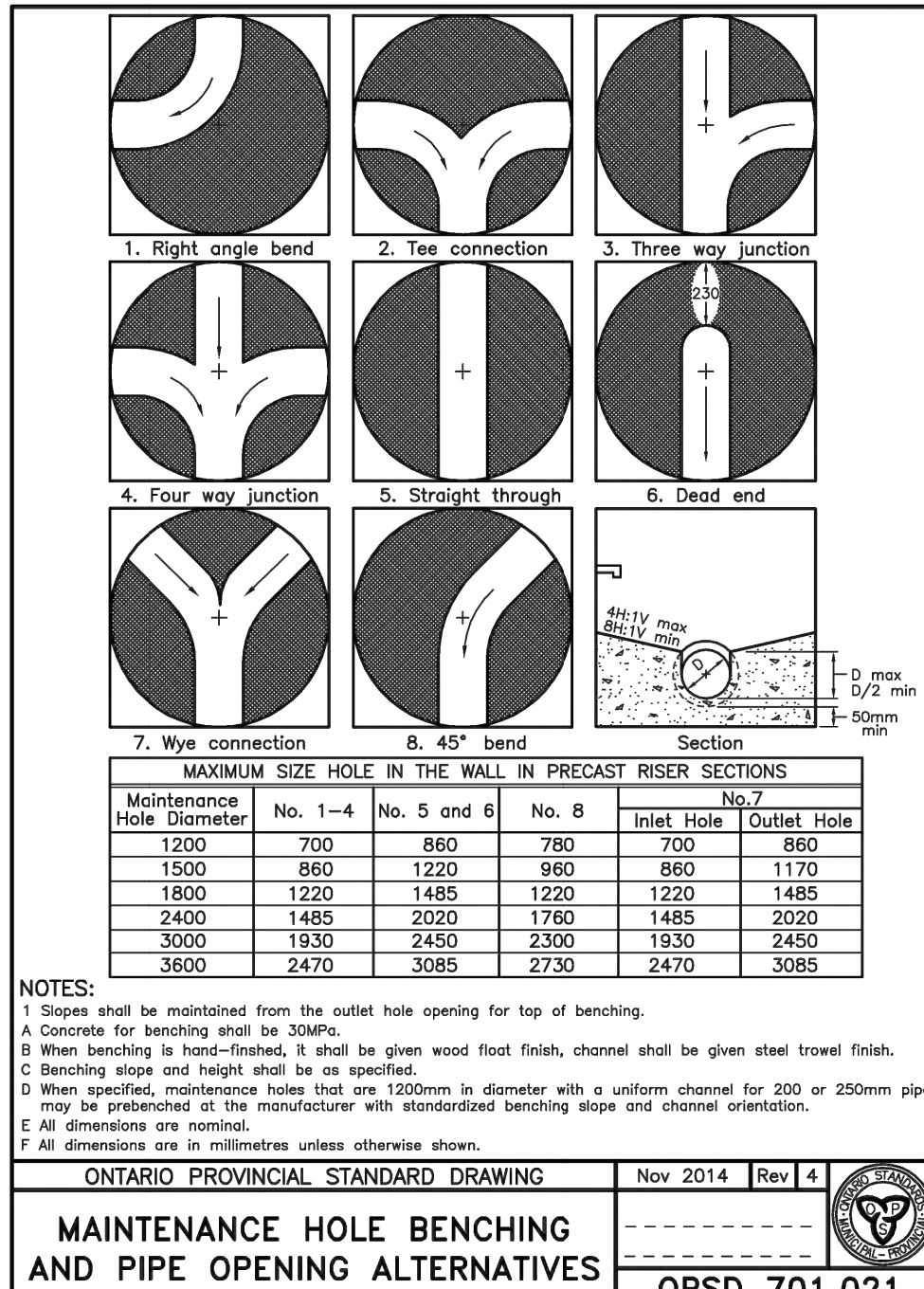
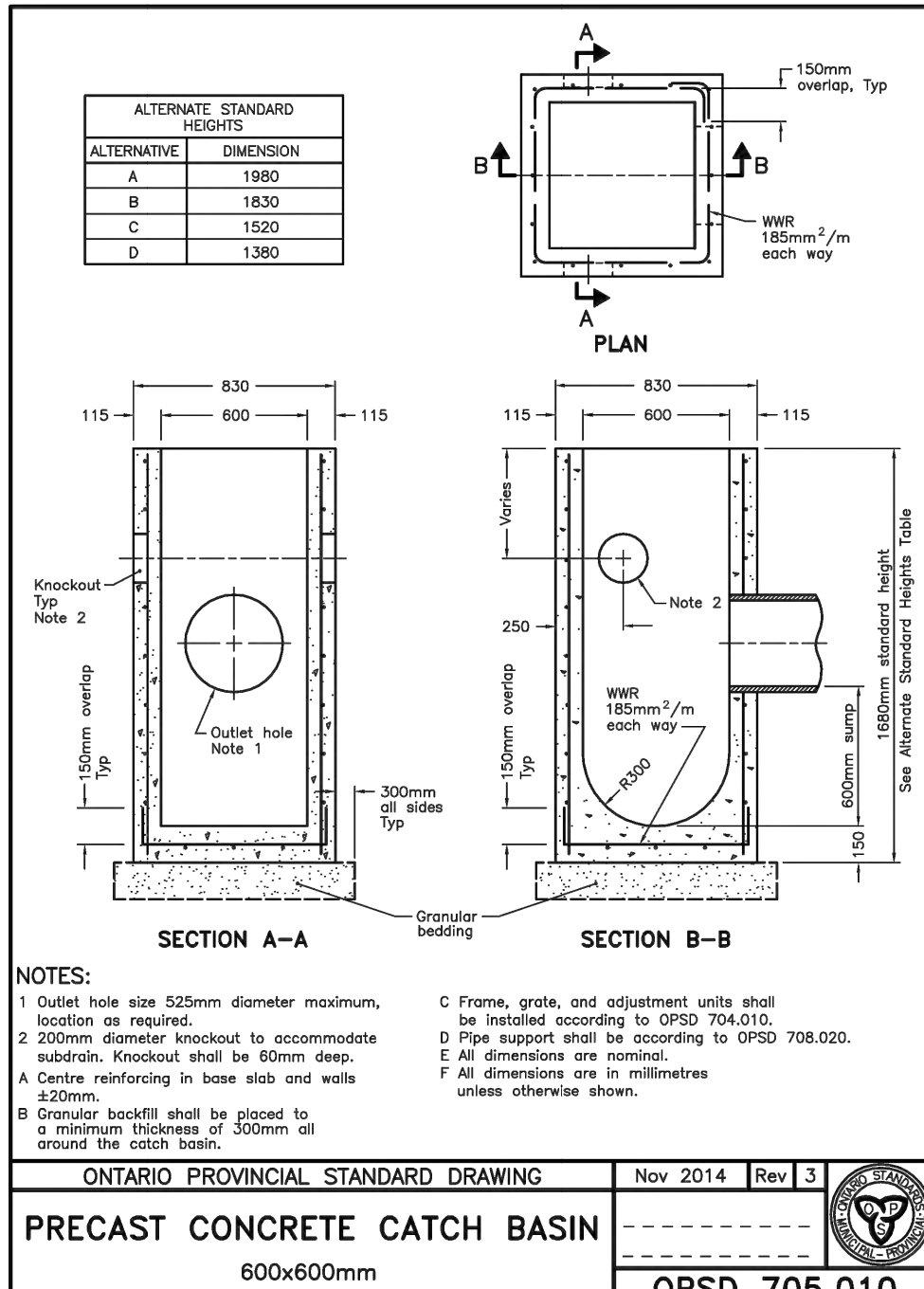
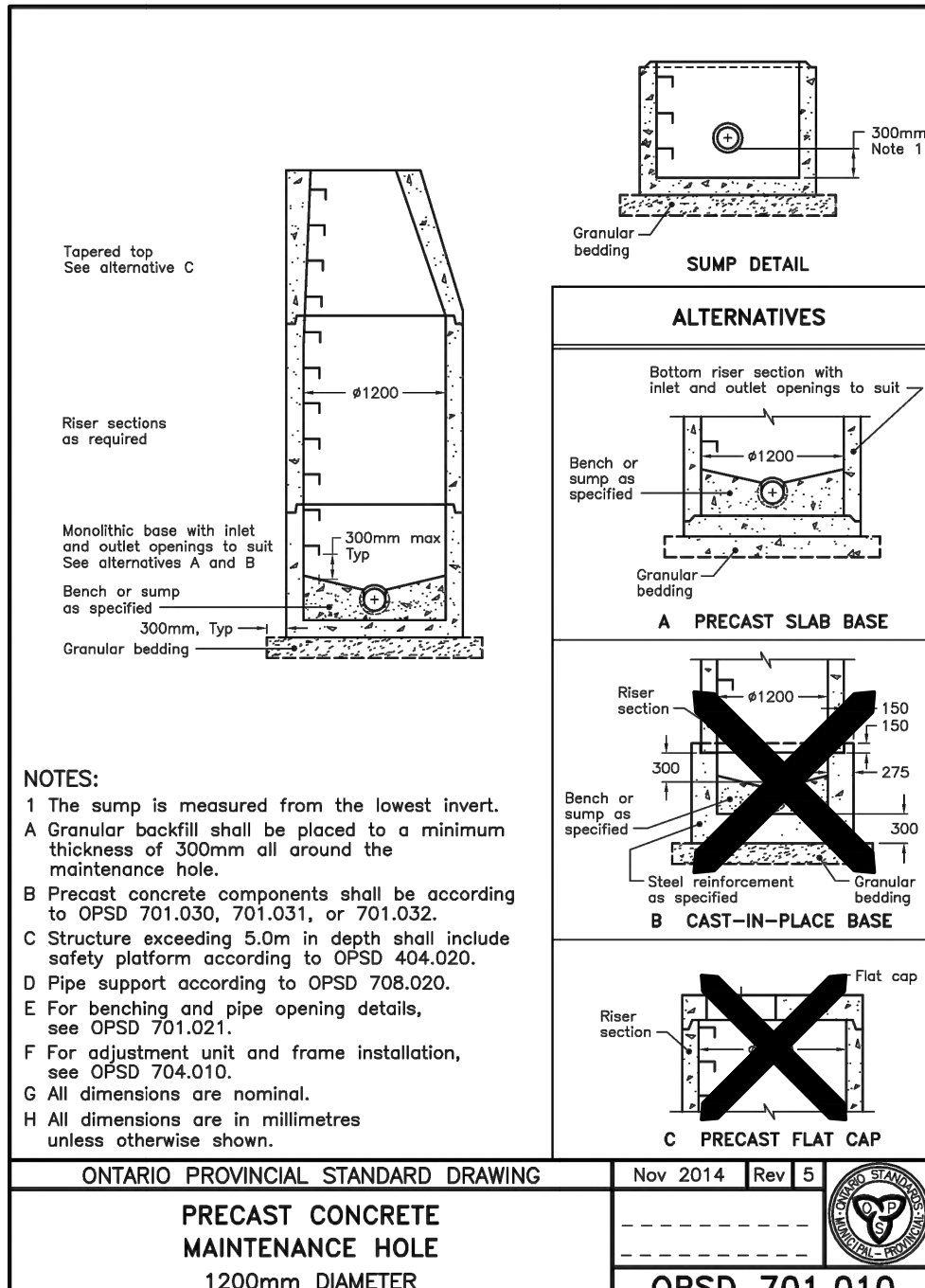
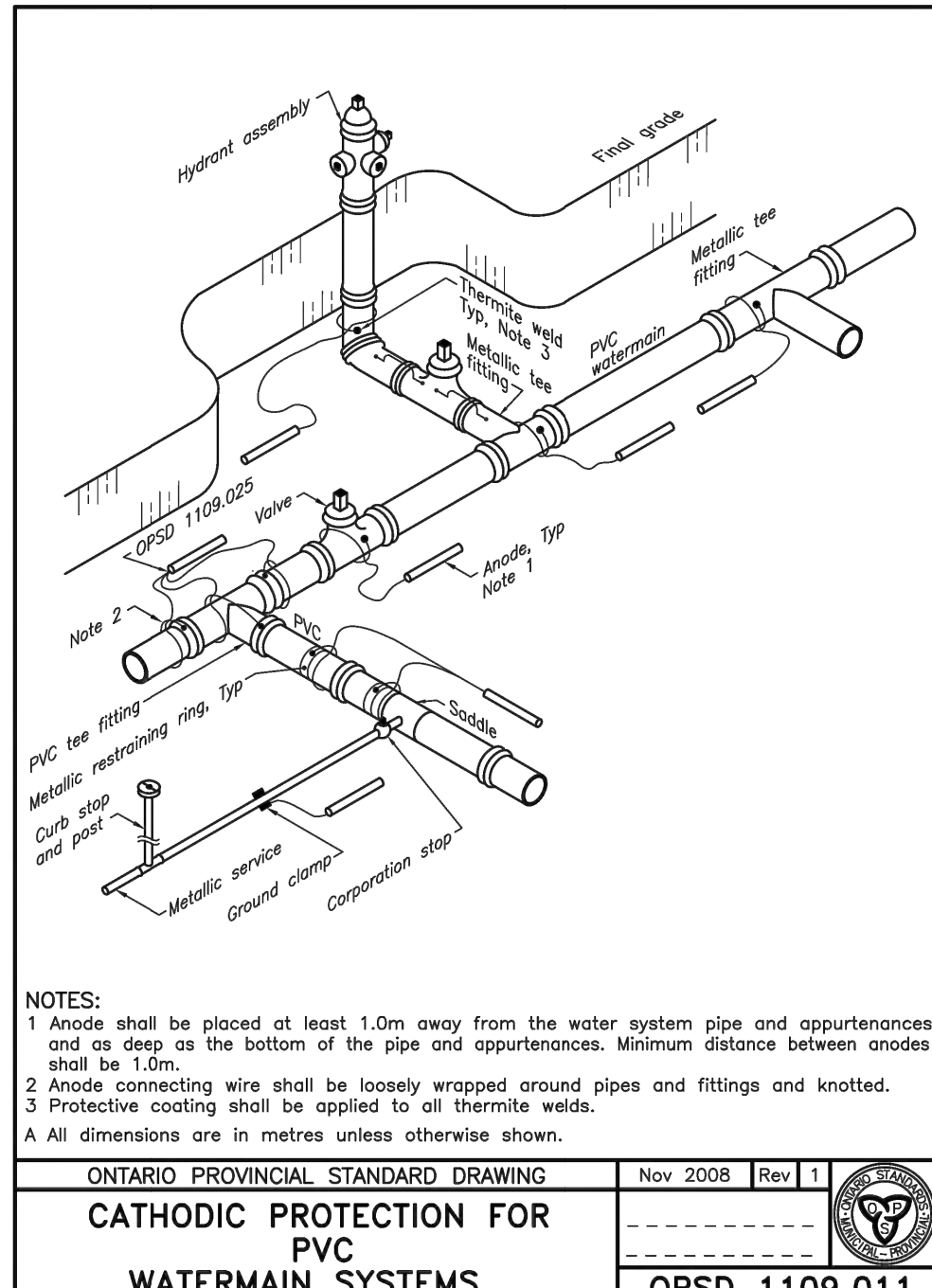
REV	DATE	DESCRIPTION	DRAWN	APPD
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1	2018MAR28	REISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
0	2018FEB23	ISSUED FOR SITE PLAN APPLICATION	JHKDR	KDR
A	2018FEB01	ISSUED FOR CLIENT REVIEW	KDRBPM	KDR

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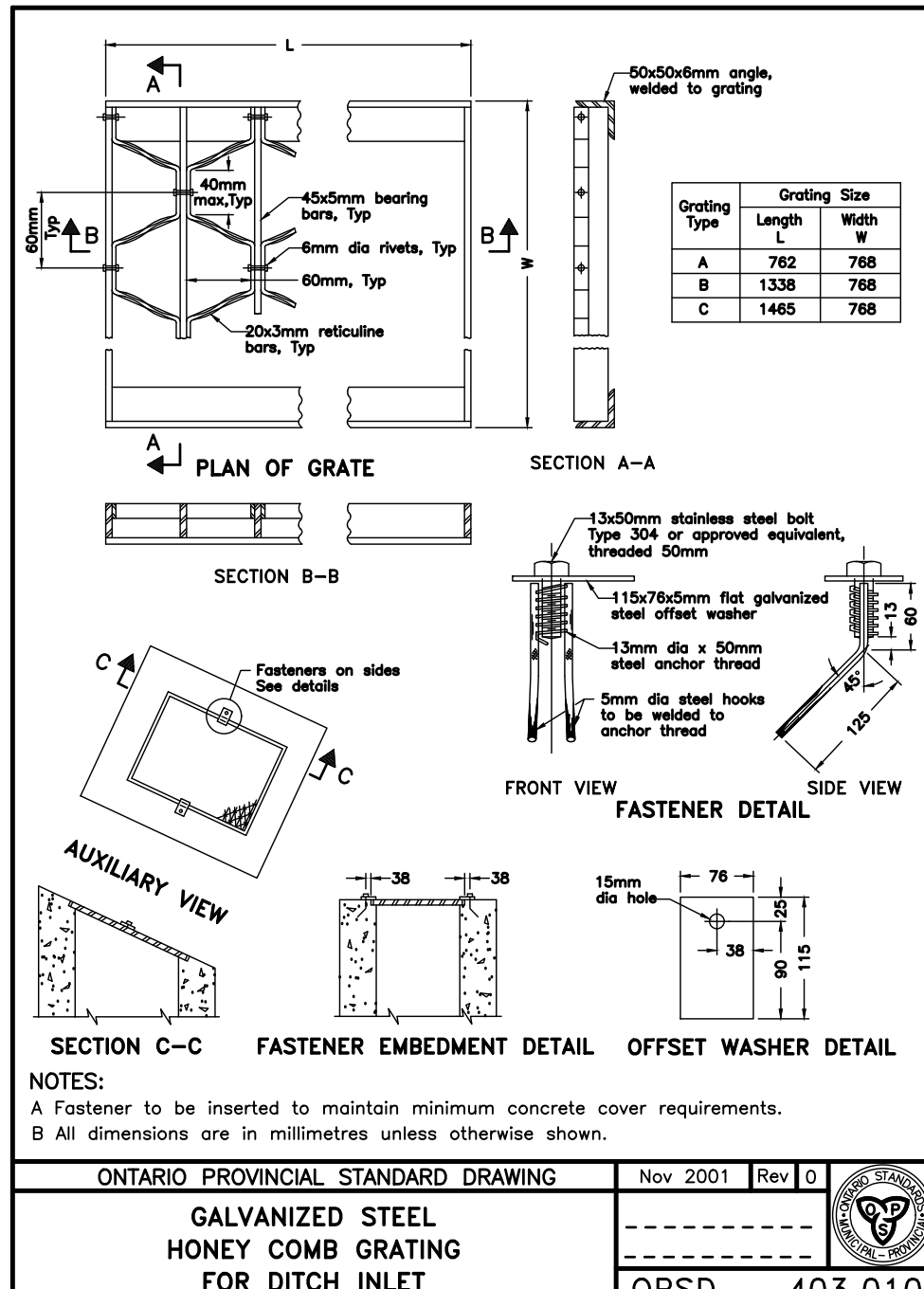
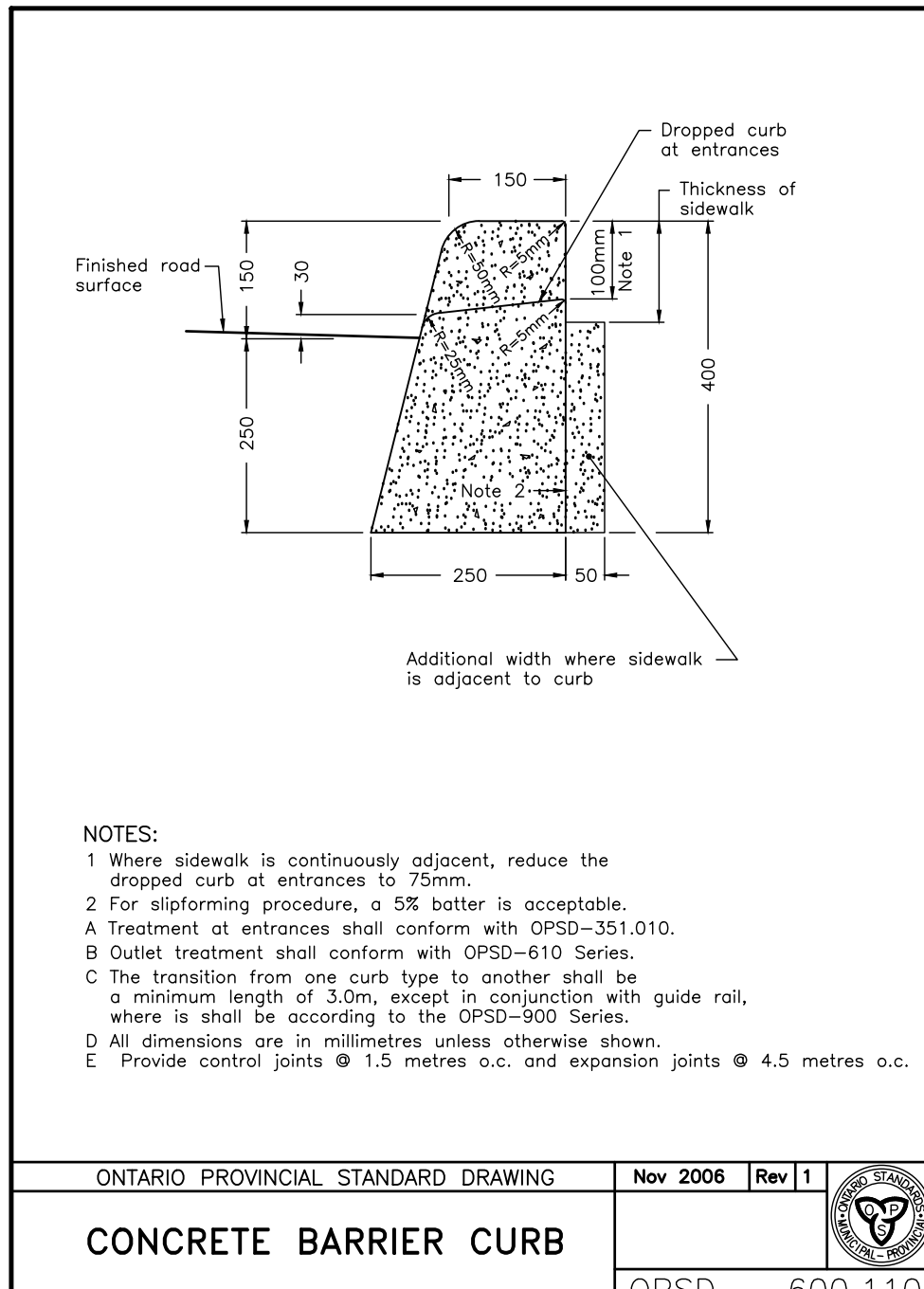
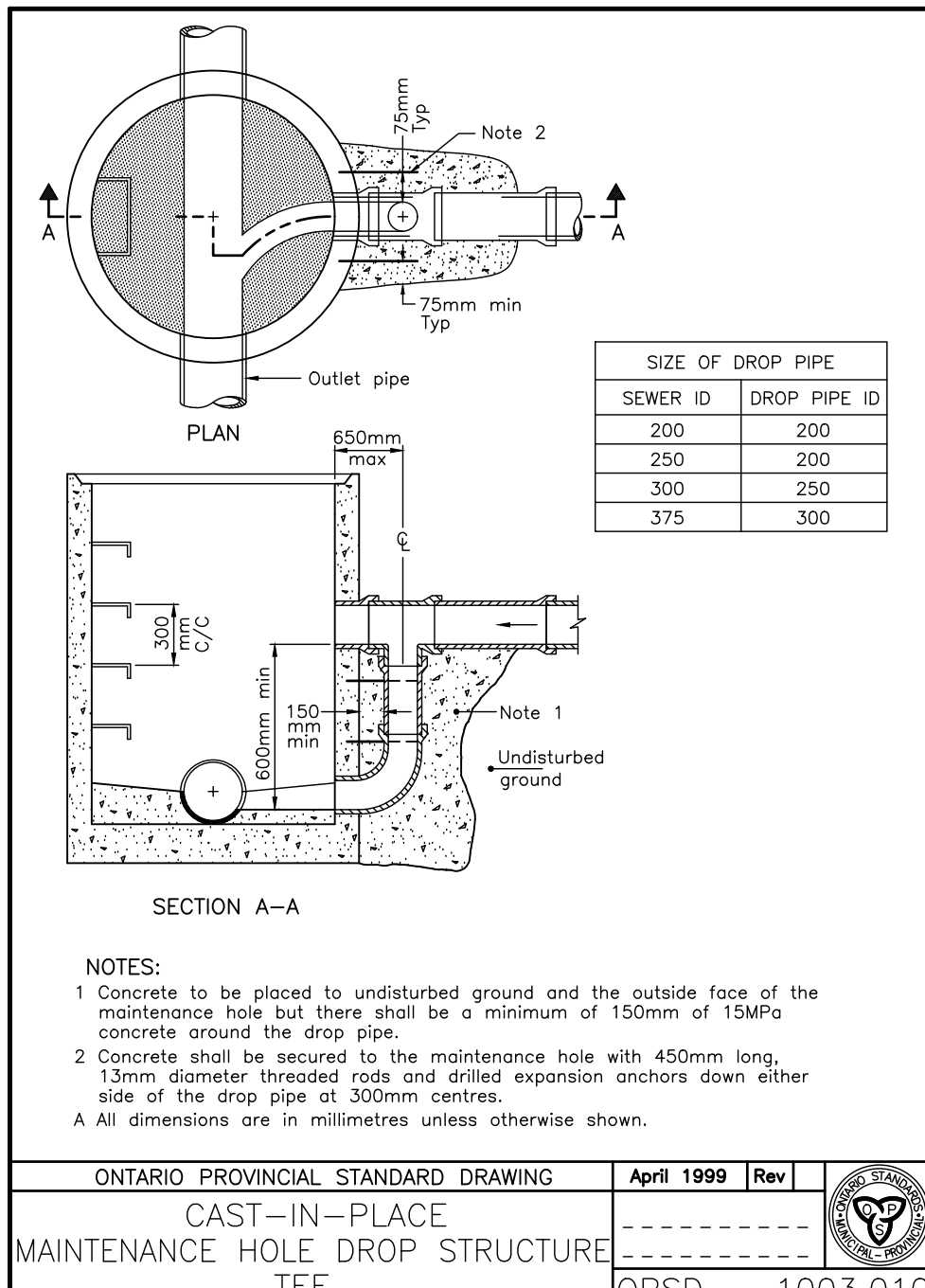
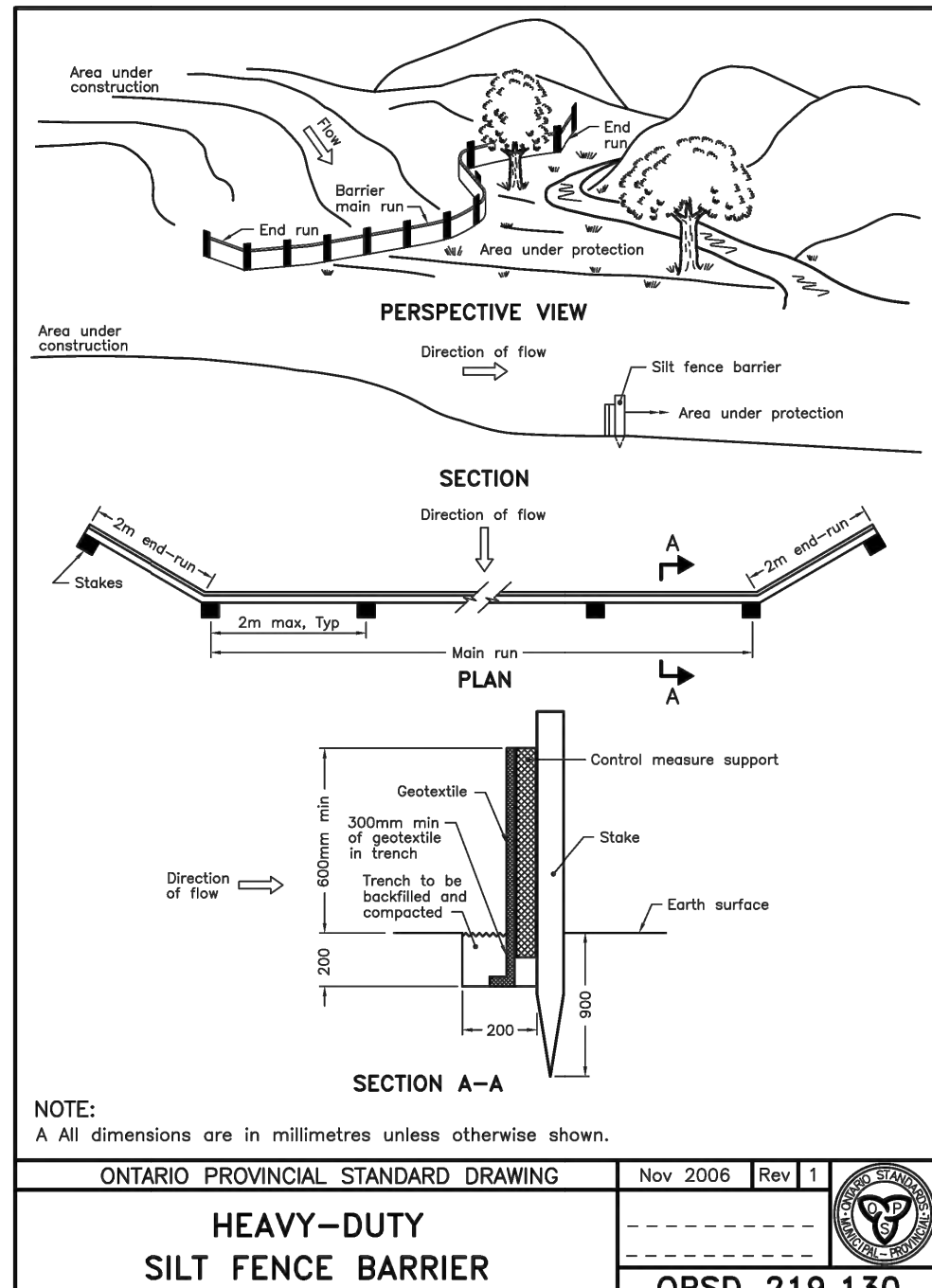
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Consulting Engineers

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LONDON 90 ALBERT ST. (519) 432 0000
KINCARDINE 933 QUEEN ST. (519) 396 1000
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NOTE
X DENOTES ITEM NOT IN USE



- GENERAL CIVIL NOTES**
- ALL GRADES BASED ON GEODETIC DATUM. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO BE RESPONSIBLE TO HAVE ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF AND ADJACENT TO THE CONSTRUCTION SITE, LOCATED AND MARKED PRIOR TO COMMENCING CONSTRUCTION. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL OUTLET INFORMATION, BENCHMARKS, ELEVATIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
 - PRIOR TO COMMENCING ANY WORK ON THE INSTALLATION OF SERVICES, AN APPROVED SET OF PLANS AND SPECIFICATIONS MUST BE AVAILABLE ON THE JOB AND SHALL REMAIN THERE WHILE WORK IS BEING DONE.
 - PAVEMENT STRUCTURE FOR MUNICIPAL ROADS:
 - 40MM HL3 FINE SHEET ASPHALT.
 - 50MM HL3 FINE SHEET ASPHALT.
 - 150MM GRANULAR 'A' BASE, COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 - 75MM GRANULAR 'B' BASE, COMPACTED TO 98% STANDARD PROCTOR DENSITY.
 - PAVEMENT STRUCTURE FOR ALL OTHER ASPHALT AREAS:
 - 40MM HL3 FINE SHEET ASPHALT.
 - 40MM HL3 FINE SHEET ASPHALT.
 - 150MM GRANULAR 'A' BASE, COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 - 150MM GRANULAR 'B' BASE, COMPACTED TO 98% STANDARD PROCTOR DENSITY.
 - SUBGRADE TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION OF PAVEMENT GRANULAR MATERIALS.
 - ALL STORM SEWER BEDDING FOR PVC PIPE SHALL BE TO MUNICIPAL STANDARDS.
 - ALL AREAS OUTSIDE THE CONSTRUCTION LIMITS OF SITE SHALL NOT BE DISTURBED. ANY DAMAGE TO THOSE AREAS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR TO BE RESPONSIBLE FOR RESTORING ANY AND ALL ASPHALT, CONCRETE, CURBS, GUTTERS, GRASSED AREAS ETC. DAMAGED DURING CONSTRUCTION. EXISTING SURFACES WHICH ARE DISTURBED SHALL BE RESTORED TO THE GREATER OF THE ORIGINAL CONDITION OR THE STANDARDS AND SATISFACTION OF THE MUNICIPALITY.
 - AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON ANY EXISTING ROAD ALLOWANCE MAINTAINED BY THE MUNICIPALITY, THE CONTRACTOR IS TO PLACE A WARNING SIGN AT THE BEGINNING AND END OF THE WORK AREA.
 - ANY DEPOSITS REQUIRED BY THE MUNICIPAL ENGINEERING DEPARTMENT ARE TO BE MADE BY THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SURFACE AND SUBSURFACE WATER.
 - ALL BEDDING FOR SERVICE TRENCHES TO BE TO THE MUNICIPALITY STANDARDS. ALL SERVICE TRENCHES SHALL BE BACKFILLED WITH SUITABLE (ON THE OPINION OF THE GEOTECHNICAL ENGINEER) ON SITE MATERIAL, AND COMPACTED TO AT LEAST 98% S.P.M.D.D.
 - STORM SEWER PIPE TO BE PVC CLASS SDR 35 IN ACCORDANCE WITH CSA - B182.1, ASTM D-3034, ASTM D-2729 OR LATEST AMENDMENT UNLESS NOTED OTHERWISE.
 - STORM SEWERS TO HAVE A MINIMUM 1.6M COVER AS PER THE TOWN OF ST. MARYS STANDARDS.
 - SANITARY SEWER SHALL BE PVC SDR 35 WITH RUBBER GASKET CONNECTIONS AND OF MINIMUM SIZE 200 mm DIAMETER, UNLESS OTHERWISE NOTED. HOUSE SERVICE CONNECTIONS SHALL BE PVC SDR 28 WITH RUBBER GASKET CONNECTIONS AND SHALL BE 125 mm MINIMUM DIAMETER FOR SINGLE DWELLING AND 150 mm DIAMETER FOR STACKED DWELLINGS.
 - SANITARY SEWERS TO HAVE A MINIMUM 1.5M COVER TO THE OVERT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL UTILITIES. PROVIDE FOR ALL EXCAVATION, TRENCHING, BACKFILLS AND RESTORATION AS REQUIRED FOR THE INSTALLATION OF UTILITIES NOT SHOWN ON THE SITE SERVICES DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE TO RECORD ALL AS-BUILT INVERTS AND GRADES. RECORD ANY DEVIATION OF PIPE OR STRUCTURE LOCATION. PROVIDE AS-BUILTS TO PROJECT ENGINEER FOR REVIEW UPON COMPLETION PROVIDE AS-BUILTS TO PROJECT ENGINEER FOR REVIEW PRIOR TO PLACEMENT OF TOPSOIL OR PAVING. AT COMPLETION OF WORK, CONTRACTOR TO PROVIDE A COPY OF AN AS-BUILT TOPOGRAPHICAL SURVEY IN BOTH HARD COPY AND AUTOCAD FORMATS. SURVEY TO INCLUDE ALL SURFACE GRADE INFORMATION, TOP OF GRATES/LIDS AND SEWER INFORMATION.
 - CONTRACTOR TO ARRANGE FOR COMPACTION TESTS OF GRANULAR SUB-BASE, BASE, AND EACH LIFT OF ASPHALT. ALSO, TO ARRANGE FOR GRANULAR GRADATION ANALYSIS AND MARSHALL COMPLIANCE TEST.
 - CONTRACTOR SHALL SUPPLY ALL LABOUR AND MATERIALS NECESSARY FOR THE FLUSHING AND STERILIZATION OF THE WATER SERVICE. FINAL COMMISSIONING TO BE IN ACCORDANCE WITH C615-14. FINAL COMMISSIONING PLAN TO BE APPROVED BY THE TOWN OF ST. MARYS PRIOR TO THE COMMENCING WORK ON THE WATER SYSTEM.
 - NEW WATERMAIN AND WATER SERVICE TO BE INSTALLED AT A DEPTH OF 1.7 METRES TO THE OVERT AS PER THE TOWN OF ST. MARYS STANDARDS. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL OFFSETS IN WATER MAIN AND WATER SERVICE AS REQUIRED TO AVOID OTHER UTILITIES AND STRUCTURES.
 - WATERMAIN SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 150 DR-18 PIPE MANUFACTURED TO AWWA C900-89 AND CSA C933-B137-3-M1986 WITH GASKETED BELL END CW #8 AWG SOLID COPPER TRACER WIRE.
 - WHERE MINIMUM DEPTH OF COVER FOR STORM, SANITARY AND WATER SERVICES CANNOT BE ACHIEVED, PIPE INSULATION SHALL BE REQUIRED IN ACCORDANCE WITH THE TOWN OF ST. MARYS STANDARDS.

APPROVED BY: _____ VERIFIED BY: _____

CLIENT: **WILDWOOD HOMES**
1436 KILALLY ROAD, SIDE UNIT
LONDON, ON.
N5V 5A3
519-284-3402

PROJECT: **MULTI DWELLING DEVELOPMENT AT**
121 ONTARIO ST.
ST. MARYS, ON.

DRAWING TITLE: **DETAILS & NOTES**

EC NO.	DWN:	CHK:	APPROVED BY:
2018APR25	JHKDR	BPM	KDR
DATE OF ISSUE:	FILE NO:	SUPV DESIGN ENG:	
2018APR25	17-1092C_Aa	-	
SCALE:	SIZE:	SUB-TYPE:	PROJECT NO:
AS SHOWN	D		17-1092

CLIENT DWG NO: _____

DWG NO: **C201** REV: **2**

Schedule "A Drawing 7

Schedule "A Drawing 8 a)



RAY6-LED LED Bollard

The RAY6-LED bollard is an architectural bollard in a sleek design that provides uniform, glare free illumination. The RAY6 features a 360° adjustable head and various beam configurations ranging from 60° to 360° to illuminate all angles.



patent pending

APPLICATIONS

The RAY6 bollard is an architectural bollard suitable for landscape and pathway lighting with glare free distribution. Ideal for use in walkways, townhouses, condos, and parkettes.

SPECIFICATIONS

Construction

Unit is a 6" round bollard with a 10" top cap. Body is made from extruded aluminum and has a custom designed twist lock mechanism for secure and easy installation. The cast aluminum base is secured with stainless steel set screws. Body has a powder coat finish.

Optics

Various beam configurations ranging from 60°, 120°, 180°, 240°, 300° and 360°.

LEDs

Unit consists of 6 LED modules which can be removed to direct the light in desired direction. Colour temperature is 5000K standard, 4,000K and 3,000K are available as options.

Electrical

Unit has high efficiency drivers that are 120 - 277 volts standard. 347V, 24V DC and 24V AC are available as options.

Mounting

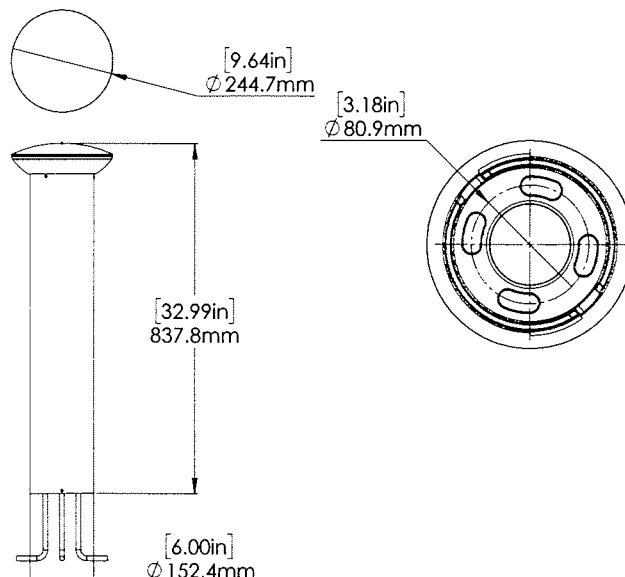
Cast aluminum base is secured with stainless steel screws. Custom twist lock mechanism securely anchors lower body to the base.

Finish

Standard powder coat finish is Bronze. Custom colours are available upon request.

Lumens and wattages will change based on LED Modules being used.

DIMENSIONS



Project	
Type	
Date	
Notes	

Watts	max. 36
Lumens	4,298
Efficacy	121 lumens per watt

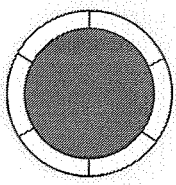
Certifications	cULus, DLC
Working Temperature	-40°C to +40°C
Colour Temperature	5000K (standard)
LED life	100,000 hours
Warranty	5 years



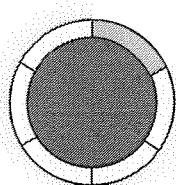
CUSTOM DESIGNED
TWIST LOCK MECHANISM



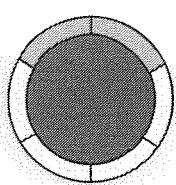
VARIOUS BEAM CONFIGURATIONS



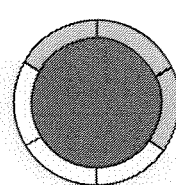
6 LED MODULES
(360°)



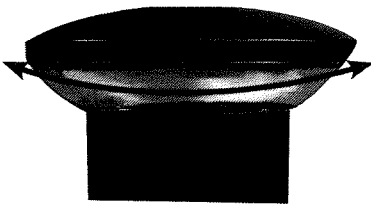
5 LED MODULES
(300°)



4 LED MODULES
(240°)



3 LED MODULES
(180°)



360° ADJUSTABLE HEAD

ORDERING GUIDE

RAY6	-		-		-		-	
		LED35		VOLTAGE		COLOUR TEMP.		LED CONFIGURATION
				B - 120 - 277V*		5K - 5000K*		180°
				C - 347V*		4K - 4000K		240°
						3K - 3000K		300°
								360°
								FINISH
								BRZ - BRONZE*
								CC - CUSTOM COLOUR

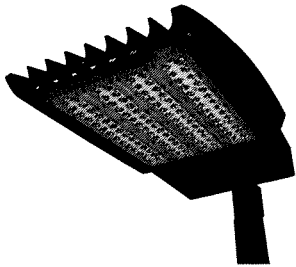
* Standard configuration

Schedule "A" Drawing 8 c)



AL1-LED Area Light

The AL-LED fixtures are high efficiency area lights with multiple beam patterns to suit a variety of applications. Intelligently designed, this series of fixtures provides superior lighting performance and significant energy savings over traditional fixtures



APPLICATIONS

Ideal for parking lots, roadways and perimeter lighting applications.

Project	
Type	
Date	
Notes	

SPECIFICATIONS

Construction

Precision die cast aluminum housing with clear polycarbonate lens. The fixture offers superior heat sinking with air-flow fins on the top. The driver enclosure is separate from the optics for improved thermal management.

Optics

Unit has high efficiency injection molded optics that have an efficacy (lumens/watt) of approx 100. The LEDs have a color temperature of 5000K as standard. 3000K/4000K available as option. The CRI is greater than 70 and the operating temperature range is -40°C to +40°C. LED life of 100,000 hours.

Beam Distribution

Available in T2, T3, T4 and T5 beam patterns for a wide range of applications.

Mounting

The AL series can be arm mounted for round or square poles (arms ordered separately). They can also be ordered with a slip fitter or yoke installed. Also available is a wall bracket that is ordered as an option and shipped separately.

Electrical

The standard unit has a high efficiency driver that operates at 120 - 277V. 347V also available.

Finish

Standard finish is Bronze. Please consult factory for custom colour.

Options

Photocell

AL1-LED Series

Input Watts	62W
Lumens	min. 7,475
Efficacy	min. 115 lumens/watt

Input Watts	100W
Lumens	min. 12,000
Efficacy	min. 120 lumens/watt

Input Watts	120W
Lumens	min. 14,040
Efficacy	min. 120 lumens/watt

Operating Temperature	-40°C to +40°C
-----------------------	-----------------------

Power Factor	> 0.9
--------------	-----------------

Total Harmonic Distortion	≤ 22%
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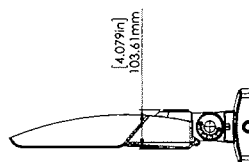
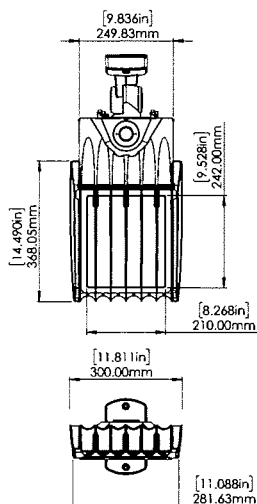
EPA	1
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Certification	cULus, DLC
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Warranty	5 Years
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Colour Temperature	5000K (standard) 3000K, 4000K (options)
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DIMENSIONS



AL LED SERIES

ORDERING GUIDE

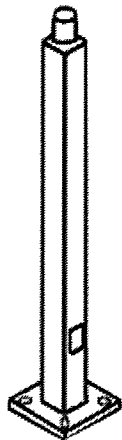
AL1	-		-		-		-		-		-				
WATTS		VOLTAGE		COLOUR TEMP		BEAM		FINISH		DRIVER		OPTIONS		MOUNTING**	
LED60*		B - 120 -		5K - 5000K*		T2 - TYPE 2		BRZ - BRONZE*		DIM -		PC - Photocell		SF - Slipfit	
LED90*		277V*		4K - 4000K		T3 - TYPE 3		CC - CUSTOM		DIMMABLE				WM - Wall Mount	
LED120*		A - 120V		3K - 3000K		T4 - TYPE 4				DRIVER*				S6 - 6" Arm for Square Pole	
		C - 347V				T5 - TYPE 5								S12 - 12" Arm for Square Pole	
														R6- 6" Arm for Round Pole	
														R12 - 12" Arm for Round Pole	

* Standard configuration

** All mounting configurations sold separately

Schedule "A" Drawing 8 f)

PS4-11-15WT RCL



Square steel poles with welded tenon included for use with floodlights. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 134.0 lbs

Project:

Type:

Prepared By:

Date:

Technical Specifications

Other

CSA Listed:

Suitable for wet locations

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Tenon:

Welded 2 3/8" tenon included

Terms of Sale:

Pole Terms of Sale is available .

Height:

15 FT

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Weight:

134 lbs

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available .

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

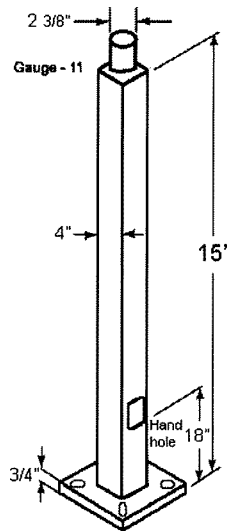
MaxEPA's/Max Weights:

70MPH 14.0 ft_/400 lb
80MPH 10.2 ft_/295 lb
90MPH 7.6 ft_/220 lb
100MPH 5.6 ft_/165 lb
110MPH 4.2 ft_/125 lb
120MPH 3.0 ft_/95 lb
130MPH 2.1 ft_/70 lb
140MPH 1.4 ft_/50 lb
150MPH 0.8 ft_/35 lb.

PS4-11-15WT RCL Schedule "A" Drawing 8 g)



Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application

FORMAL REPORT

To:	Mayor Stratthdee and Members of Council
Prepared by:	Mark Stone, Planner
Date of Meeting:	12 June 2018
Subject:	DEV 25-2018 Application for Removal of Holding Symbols (Z05-2017)247, 243, 239 & 235 Emily Street Lots 30, 31, 32 & 33, Registered Plan 44M-64Town of St. Marys

PURPOSE

The purpose of this report is to provide Council with a summary and recommendation as it pertains to the Application for the removal of holding symbols for 247, 243, 239 and 235 Emily Street.

RECOMMENDATION

THAT DEV 25-2018 Application for Removal of Holding Symbols (Z05-2017) be received; and

THAT Council enact Zoning By-law Z126-2018 to remove the Holding “H” symbols only from the properties known as 247, 243 and 239 Emily Street (Lots 30, 31 & 32 of Plan 44M-64).

BACKGROUND

The subject lots are located on the east side of Emily Street, north of the Grand Trunk Trail overpass. In 2017, Plan 44M-64 was registered to allow for the development of 33 single detached lots along Emily Street and the construction of the first section of the Glass Street extension. A copy of Plan 44M-64 is provided as Attachment 1 of this report, showing the location of Lots 30, 31, 32 and 33. The owner of the subject property has submitted an Application for the removal of holding symbols from these lots to allow for the proposed development of single detached dwellings to proceed on each lot.

In 2012, Council approved Zoning By-law Amendment Z98-2012 to change the zone classification of the subject lands from “Agricultural Zone (A1)” to “Residential Zone Three (R3-11-H₃)” to permit the development of these lands for single detached dwellings, with special provisions to increase the minimum front yard requirement to 7.5 metres. To ensure safe vehicular movements along Emily Street, the (H₃) holding provision cannot be removed until it is demonstrated, to the Town’s satisfaction, that the sightlines associated with the Emily Street underpass are adequate for safe vehicular movements in terms ingress and egress to the subject lands. Until the holding symbol is removed, permitted uses are limited to lawfully existing uses as of the adoption date of By-law No. Z98-2012. A copy of By-law No. Z98-2012 is attached to this report.

The removal of the holding symbols from the lands affected by the By-law would have the effect of permitting development in accordance with the “Residential Zone Three (R3-11)” Zone provisions.

REPORT

The Town’s Engineering and Public Works Department has reviewed the request to remove the holding symbols and has provided comments in a memorandum (see Attachment 4). The Engineering and Public Works Department note that the holdings were originally placed on the lots to ensure that the driveways of the new lots would be safe to enter and exit due to concern about the nearby overpass

impeding sight lines of motorists. The developer's consultant completed a sight line analysis specifically examining the sight line impacts of Lot 33. It was determined that a vehicle travelling 50 km/hr did not have sufficient sight line or time to stop to avoid a collision with a motorist leaving the driveway of Lot 33. BM Ross reviewed the sight line analysis on behalf of the Town (see Attachment 4).

For Lots 30, 31 and 32, the Engineering and Public Works Department recommends that the speed limit on Emily Street be reduced to 40 km/hr from Water Street North to Glass Street.

For lot 33, the Engineering and Public Works Department recommends that:

1. The developer contact Festival Hydro to determine whether the guy wire and anchor could be replaced with a brace pole, allowing the lot 33 driveway to move further to the north.
2. A "hidden driveway" sign be installed on the south side of the overpass warning northbound traffic of the potential hazard.
3. A one-foot reserve be placed on the southerly 10 metres of lot frontage of Lot 33 so that the driveway entrance could not be installed any closer to the over pass than what was assessed in the sight line analysis.
4. The future extension of Wellington Street North to Glass Street should reduce the volume of traffic utilizing Emily Street travelling to and from the downtown core. This reduction in traffic would reduce the likelihood of a collision occurring at the Lot 33 driveway. It is recommended that the holding remain in place for Lot 33 until the developer extends Wellington Street to Glass Street.

Based on the above, it is recommended that, at this time, Council only remove the holding symbol from Lots 30, 31 and 32.

FINANCIAL IMPLICATIONS

None.

STRATEGIC PLAN

☒ Not applicable to this report.

OTHERS CONSULTED

Susan Luckhardt, Planning Coordinator
Jeff Wolfe, Asset Management / Engineering Specialist

ATTACHMENTS

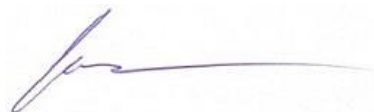
- 1) Plan 44M-64
- 2) By-law Z98-2012
- 3) Proposed enacting Zoning By-law to remove holding symbols
- 4) Town Engineering & Public Works Department comments (including letter from BM Ross)

REVIEWED BY

Recommended by the Department



Mark Stone
Planner



Grant Brouwer
Director of Building and Development

Recommended by the CAO



THE CORPORATION OF THE TOWN OF ST. MARYS

BY-LAW NO. Z98-2012

Being a By-law to amend By-law No. Z1-1997, as amended, which may be cited as "The Zoning By-law of the Town of St. Marys", and which is a By-law to prohibit the use of land and the erection, location, and use of buildings or structures except for certain purposes, and to regulate the height, bulk, location, size, floor area, spacing, character, and use of buildings and structures to be erected or located within the municipality, and the minimum frontage and depth of the parcel of land and the proportion of the area of the parcel of land that any building or structure may occupy.

WHEREAS the Council of the Corporation of the Town of St. Marys deems it necessary in the public interest to pass a By-law to amend By-law No. Z1-1997, as amended;

AND WHEREAS pursuant to the provisions of Section 34 of the Planning Act, as amended, By-laws may be passed by Councils of municipalities for prohibiting or regulating the use of land and the erection, location, or use of buildings or structures within the municipality for or except for such purposes as may be set out in the By-law, and for regulating in certain respects buildings or structures to be erected or located within the municipality;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF ST. MARYS ENACTS AS FOLLOWS:

1. The area shown in the hatching on the attached map, Schedule "A", and described as Part of Lot 15, Thames Concession, Part of Lot 15, Concession 17, and Part of Lot 16, Concession 17 in the Town of St. Marys shall be removed from the "Agricultural Zone One (A1)" of By-law No. Z1-1997 and shall be placed in the "Residential Zone Three (R3)" of By-law No. Z1-1997, and shall be subject to the provisions of Section 10.10.11 of By-law No. Z1-1997 as hereinafter set forth. The zoning of this land shall be shown as "R3-11" on Key Map 2 of Schedule "A" to By-law No. Z1-1997, as amended.
2. That Section 10.10 of By-law No. Z1-1997 is hereby amended by adding the following special provision:

10.10.11	R3-11
(a)	Location: Part of Lot 15, Thames Concession, Part of Lot 15, Concession 17, and Part of Lot 16, Concession 17.
(b)	Notwithstanding the provisions of Section 10.2.4 of By-law No. Z1-1997 to the contrary, the minimum front yard for the land within the "R3-11" zone as shown on Key Map 2 of Schedule "A" to this By-law (also shown on Schedule "A" to By-law No. Z98-2012) shall be 7.5 metres.
(c)	All other provisions of this By-law, as amended, shall apply.
3. The area shown in the fine-hatching on the attached map, Schedule "A", and described as Part of Lot 15, Thames Concession and Part of Lot 15, Concession 17 in the Town of St. Marys shall be removed from the "Agricultural Zone One (A1)" of By-law No. Z1-1997 and shall be placed in the "Residential Zone Three (R3)" of By-law No. Z1-1997. The zoning of this land shall be shown as "R3" on Key Map 2 of Schedule "A" to By-law No. Z1-1997, as amended.
4. The area shown in the fine-stippling on the attached map, Schedule "A", and described as Part of Lot 16, Concession 17, in the Town of St. Marys shall be removed from the "Agricultural Zone One (A1)" of By-law No. Z1-1997, shall be placed in the "Residential Zone Three (R3)" of By-law No. Z1-1997, and shall be subject to the provisions of Section 10.10.12 of By-law No. Z1-1997 as hereinafter set forth. The zoning of this land shall be shown as "R3-12" on Key Map 2 of Schedule "A" to By-law No. Z1-1997, as amended.

5. That Section 10.10 of By-law No. Z1-1997 is hereby amended by adding the following special provision:

10.10.12 R3-12

- (a) Location: Part of Lot 16, Concession 17.
- (b) Notwithstanding the provisions of Section 10.2.4 of By-law No. Z1-1997 to the contrary, the minimum front yard for the land within the "R3-12" zone as shown on Key Map 2 of Schedule "A" to this By-law (also shown on Schedule "A" to By-law No. Z98-2012) shall be 8.0 metres.
- (c) All other provisions of this By-law, as amended, shall apply.

6. The area shown in the cross-hatching on the attached map, Schedule "A", and described as Part of Lot 16, Concession 17 in the Town of St. Marys shall be removed from the "Agricultural Zone One (A1)" of By-law No. Z1-1997, shall be placed in the "Residential Zone Three (R3)" of By-law No. Z1-1997, and shall be subject to the provisions of Section 10.10.13 of By-law No. Z1-1997 as hereinafter set forth. The zoning of this land shall be shown as "R3-13" on Key Map 2 of Schedule "A" to By-law No. Z1-1997, as amended.

7. That Section 10.10 of By-law No. Z1-1997 is hereby amended by adding the following special provision:

10.10.13 R3-13

- (a) Location: Part of Lot 16, Concession 17.
- (b) Notwithstanding the provisions of Section 10.2.4 of By-law No. Z1-1997 to the contrary, the minimum front yard for the land within the "R3-13" zone as shown on Key Map 2 of Schedule "A" to this By-law (also shown on Schedule "A" to By-law No. Z98-2012) shall be 10 metres.
- (c) Notwithstanding the provisions of Section 10.2.5 of By-law No. Z1-1997 to the contrary, the minimum southerly interior side yard for the land within the "R3-13" zone as shown on Key Map 2 of Schedule "A" to this By-law (also shown on Schedule "A" to By-law No. Z98-2012) shall be 2.4 metres.
- (d) All other provisions of this By-law, as amended, shall apply.

8. The area shown in the stippling on the attached map, Schedule "A", and described as Part of Lot 16, Concession 17 in the Town of St. Marys shall be removed from the "Agricultural Zone One (A1)" of By-law No. Z1-1997 and shall be placed in the "Residential Zone Three (R3)" of By-law No. Z1-1997, and shall be subject to the provisions of Section 10.10.11 as herein set forth and Section 27.2.4 of By-law No. Z1-1997 as hereinafter set forth. The zoning of this land shall be shown as "R3-11-H3" on Key Map 2 of Schedule "A" to By-law No. Z1-1997, as amended.

9. That Section 27.2 of By-law No. Z1-1997 is hereby amended by adding the following special provision:

27.2.4 -H3

Purpose

To ensure safe vehicular movements along Emily Street, the H3 symbol shall not be removed until it is demonstrated, to the Town's satisfaction, that the sightlines associated with the Emily Street underpass are adequate for safe vehicular movements in terms ingress and egress to the subject lands.

Permitted Interim Uses

Uses lawfully existing as of the date of adoption of By-law No. Z98-2012.

10. Schedule "A", attached hereto, shall form part of this By-law.

11. All other provisions of By-law No. Z1-1997, as amended, shall apply.

12. The Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law in accordance with the Planning Act, as amended, and to Regulations thereunder.

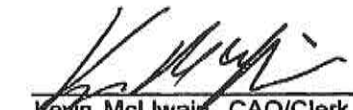
13. This By-law shall come into force on the day it was passed pursuant to the Planning Act, and to the Regulations thereunder.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 24th DAY OF JULY, 2012.



Steve Grose, Mayor


Kevin McIlwain, CAO/Clerk

Certified a true copy of By-law No. Z98-2012 passed by the Council of the Corporation of the Town of St. Marys, July 24, 2012.


Kevin McIlwain, CAO/Clerk

THIS IS **SCHEDULE "A"**
 TO **BY-LAW NO. Z98-2012**
 OF THE **CORPORATION OF THE TOWN OF ST MARYS**
 PASSED THIS 24th DAY OF JULY, 2012


 Steve Grose, Mayor


 Kevin McIlwain, CAO - Clerk



AREA SHOWN IN HATCHING AND AFFECTED BY THIS BY-LAW
 Remove from the "Agricultural Zone (A1)" of By-law No. Z1-1997,
 place in the "Residential Zone Three (R3)" of By-law No. Z1-1997 and
 shall be subject to subject to the provisions of Section 10.10.11 of By-law No. Z1-1997.



AREA SHOWN IN FINE HATCHING AND AFFECTED BY THIS BY-LAW
 Remove from the "Agricultural Zone (A1)" of By-law No. Z1-1997,
 place in the "Residential Zone Three (R3)" of By-law No. Z1-1997.



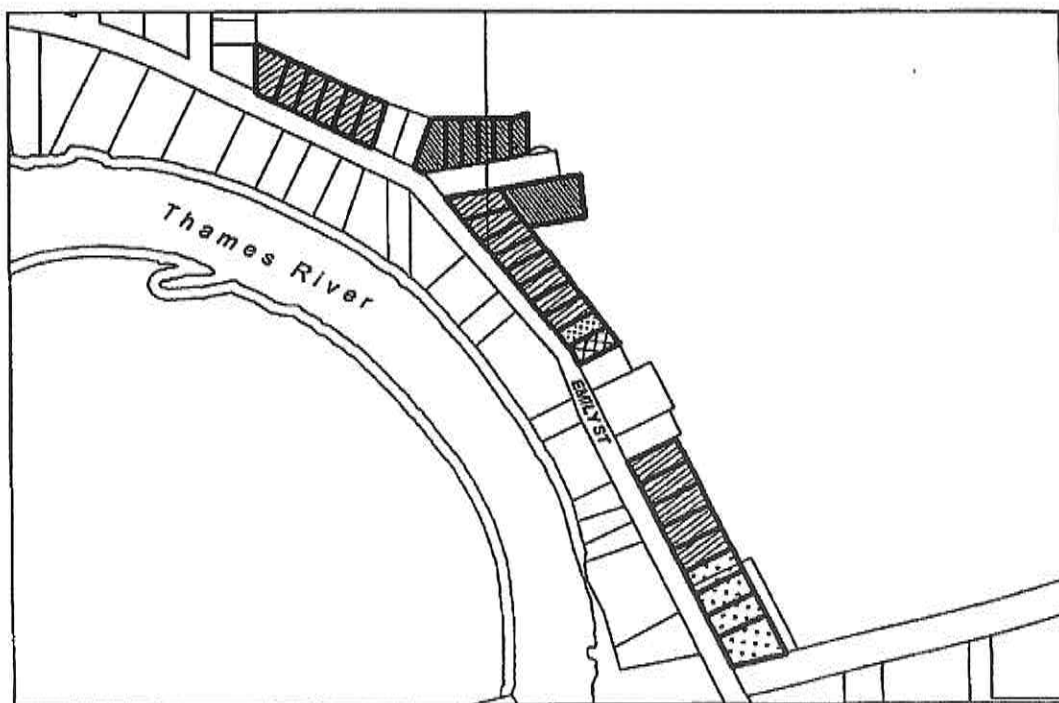
AREA SHOWN IN FINE STIPPLING AND AFFECTED BY THIS BY-LAW
 Remove from the "Agricultural Zone (A1)" of By-law No. Z1-1997,
 place in the "Residential Zone Three (R3)" of By-law No. Z1-1997 and
 shall be subject to subject to the provisions of Section 10.10.12 of By-law No. Z1-1997.



AREA SHOWN IN CROSS-HATCHING AND AFFECTED BY THIS BY-LAW
 Remove from the "Agricultural Zone (A1)" of By-law No. Z1-1997,
 place in the "Residential Zone Three (R3)" of By-law No. Z1-1997 and
 shall be subject to subject to the provisions of Section 10.10.13 of By-law No. Z1-1997.



AREA SHOWN IN STIPPLING AND AFFECTED BY THIS BY-LAW
 Remove from the "Agricultural Zone (A1)" of By-law No. Z1-1997,
 place in the "Residential Zone Three (R3-11-Hy)" of By-law No. Z1-1997 and
 shall be subject to subject to the provisions of Section 27.2.4 of By-law No. Z1-1997.



G:\GIS\PROJECTS\St. Marys\2012-07-24 THAMES CREST ZBA SCHEDULE A V3.mxd

THE CORPORATION OF THE TOWN OF ST. MARYS**BY-LAW NO. Z126-2018**

Being a By-law pursuant to the provisions of Section 36 of the Planning Act to amend By-law No. Z1-1997, as amended, which may be cited as “The Zoning By-law of the Town of St. Marys”, to remove holding symbols affecting lands located on 247, 243 and 239 Emily Street (Lots 30, 31 and 32, Registered Plan 44M-64)

WHEREAS the Council of the Corporation of the Town of St. Marys deems it necessary in the public interest to pass a By-law to amend By-law No. Z1-1997, as amended;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF ST. MARYS ENACTS AS FOLLOWS:

1. The area shown in hatching on the attached map, Schedule “A”, and described as Lots 30, 31 and 32, Registered Plan 44M-64 in the Town of St. Marys shall be removed from the “Residential Zone Three (R3-11-H₃)” of By-law No. Z1-1997 and shall be placed in the “Residential Zone Three (R3-11)” of By-law No. Z1-1997. The zoning of this land shall be shown as “R3-11” on Key Map 2 of Schedule “A” to By-law No. Z1-1997, as amended.
2. Schedule “A”, attached hereto, shall form part of this By-law.
3. All other provisions of By-law No. Z1-1997, as amended, shall apply.
4. The Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law in accordance with the Planning Act, as amended, and to Regulations thereunder.
5. This By-law shall come into force on the day it was passed pursuant to the Planning Act, and to the Regulations thereunder.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 12th DAY OF JUNE, 2018.

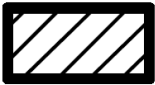
Al Strathdee, Mayor

Brent Kittmer, CAO-Clerk

THIS IS **SCHEDULE "A"**
 TO **BY-LAW NO. Z126-2018**
 OF THE **CORPORATION OF THE TOWN OF ST. MARYS**
 PASSED THIS 12TH DAY OF JUNE, 2018

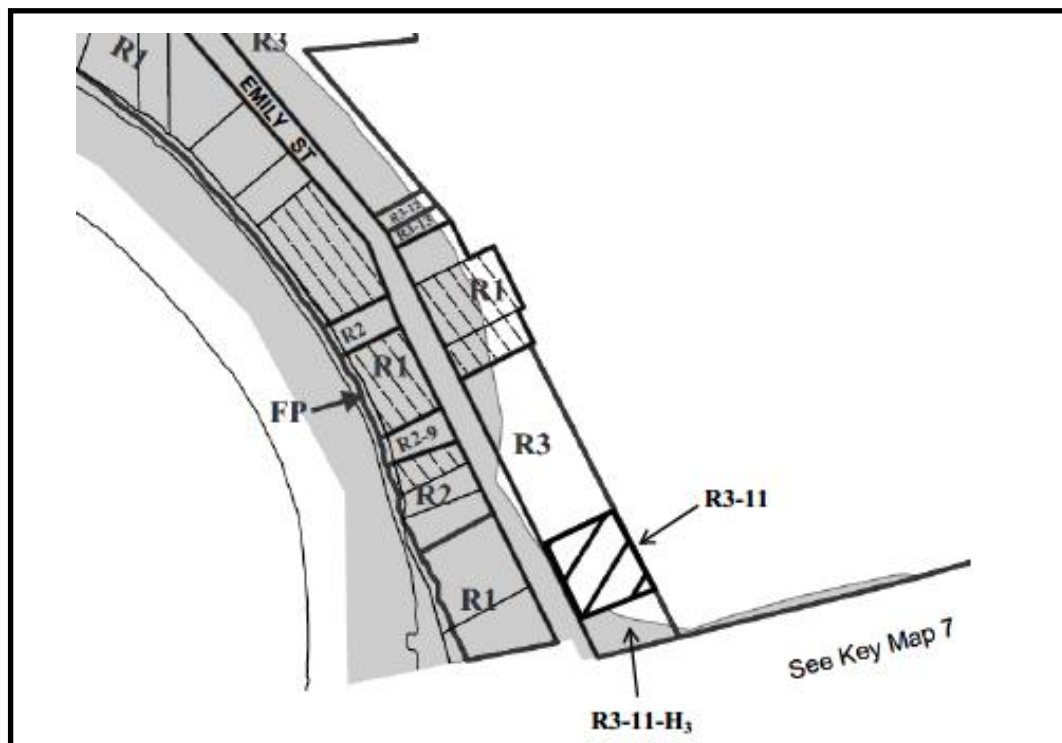
 Al Strathee, Mayor

 Brent Kittmer, CAO-Clerk



AREA AFFECTED BY THIS BY-LAW

Remove from the "Residential Zone Three (R3-11-H₃)" of By-law No. Z1-1997, and placed in the "Residential Zone Three (R3-11)" of By-law No. Z1-1997.





MEMO

Engineering & Public Works

To: Susan Luckhardt
cc: Mark Stone
Date: May 31, 2018
File: Z05-2017

From: Jeff Wolfe
☐ For Your Information
☐ For Your Approval
☐ For Your Review
☒ As Requested

Subject: H3 Holding removal of Lots 30,31,32,33 on Emily Street

Susan,
Public Works has had the opportunity to review the request to remove the holding provisions on lots 30,31,32,33 of the Thames Crest Farms Emily Street subdivision.

The holdings were originally placed on the lots to ensure that the driveways of the new lots would be safe to enter and exit due to concern about the nearby overpass impeding sight line of motorists. The developer's consultant completed a sight line analysis specifically looking at the sight line impacts of lot 33. It was determined that a vehicle travelling 50km/hr did not have sufficient sight line or time to stop to avoid a collision with a motorist leaving the driveway of lot 33. We had the sight line analysis reviewed by BM Ross and had BM Ross provide a letter. The original sight line analysis and BM Ross letter are attached.

The following recommendations came as a result of the review for Lot 33:

1. The developer should contact Festival Hydro to determine whether the guy wire and anchor could be replaced with a brace pole, allowing the lot 33 driveway to move further to the north
2. The local speed limit should be reduced to 40km/hr on Emily St. from Water St. N to Glass St.
3. A "hidden driveway" sign should be installed on the south side of the overpass warning northbound traffic of the potential hazard.
4. A 1 foot reserve should be placed on the southerly 10m of lot frontage of Lot 33 so that the driveway entrance could not be installed any closer to the over pass than what was assessed in the sight line analysis.
5. The future extension of Wellington St. N. to Glass St. should reduce the volume of traffic utilizing Emily St. travelling to and from the downtown core. This reduction in traffic would reduce the likelihood of a collision occurring at the Lot 33 driveway. It is recommended that the H3 holding remain in place until the developer extends Wellington St. to Glass St.

MEMO

H3 Holding removal of Lots 30,31,32,33 on Emily Street

For the remaining lots 30, 31 & 32, the only recommendation is that the speed limit be reduced to 40km/hr from Water St. N. to Glass St.

I trust this information is of assistance.

Respectfully submitted,

Jeff Wolfe, C.Tech.,
Public Works

**B. M. ROSS AND ASSOCIATES LIMITED****Engineers and Planners**

62 North Street, Goderich, ON N7A 2T4

p. (519) 524-2641 • f. (519) 524-4403

www.bmross.net

File No. 18014

March 12, 2018

Jeff Wolfe, Engineering Specialist, Public Works
 Town of St. Marys
 Municipal Operations Centre
 P.O. Box 998, 408 James St. S.
 St. Marys, ON, N4X 1B6

Dear Sir

Re: Lot 33 Emily Street, St. Marys

As requested, BMROSS reviewed the Sight Distance Analysis for Emily Street and driveway for Lot 33 (attached) and have the following comments.

1. The analysis assumed that a parked car would be on the north side of the proposed drive for Lot 33. The worst-case scenario would be to do the analysis with the parked car on the south side of the drive. This would result in a shorter Stopping Sight Distance (SSD).
2. The location of the approaching vehicle is approximately in the middle of the westbound lane. This would be a typical location for the analysis.
3. The uphill gradient is noted as 2.27% and 5.77% on the profile. The assumed gradient of 3% used for the analysis is acceptable.
4. The graphical approach of determining the SSD of 61m appears to be consistent with typical Stopping Sight Distance analysis techniques. From the TAC table, a SSD of 61m relates to a Design Speed of 50km/hr as noted in the analysis. If the parked car was closer than the 61m, the SSD criteria for a design speed of 50km/hr would not be achieved.

Since the design speed associated with the Stopping Sight Distance of 61m is 50km/hr and the worst-case scenario was not reviewed, BMROSS would recommend that the Town retain the hold on Lot 33 at least until further design development or analysis can be performed. This analysis could potentially include the relocation of the drive to the north; should consider the parked vehicle entering Emily Street from the south side of the drive and determine what the Operating Speed of vehicles in the area is. The additional design development and analysis should include the following:

1. Contact Festival Hydro to inquire about the replacement of the guy wire & anchor with a brace pole instead. The existing utility pole near the north lot line for Lot 33 has a guy wire and anchor that hinders the location of the driveway to Lot 33. If Festival Hydro is receptive

to this, the brace pole would be located on the north side of the utility pole which could facilitate the removal of the guy and thus permit the relocation of the proposed driveway further north. With the new driveway location the Stopping Sight Distances should improve slightly.

2. It would be beneficial to have some data on the Operating Speed (85th percentile speed of vehicles at times when traffic volumes are low and drivers are free to choose the speed at which they travel) of the vehicles in the vicinity of this underpass so that the SSD requirements for vehicles operating speed could be determined. Even though Emily Street is posted at 50km/hr, the Operating Speed of the vehicles may be less than the posted speed, as drivers tend to slow down when obstructions are located in close proximity to the travel lanes such as the bridge abutments. With data supporting the Operating Speed, the required SSD for this speed may be satisfied.
3. A review of the lighting levels should be performed to determine if the levels satisfy the site conditions.
4. A localized reduction in posted speed is always an option to consider as the provided analysis falls short of the TAC Guidelines.
5. Install a "Hidden Driveway" sign (CW-2) on the south side of the underpass and pass a By-Law for its installation.
6. It is understood that in the near future, Glass Street will be extended between Emily Street and the Wellington Street North extension and that with this construction, the traffic volumes on Emily Street between Glass Street and Water Street will potentially be reduced. This reduction in traffic volumes will reduce the potential risks associated with backing a vehicle onto the street as there will be fewer vehicles on the road.

Hopefully we have addressed all your concerns regarding the proximity of the driveway to the underpass and how to potentially minimize the risks.

Should you have any questions, please contact the undersigned.

Yours very truly

B. M. ROSS AND ASSOCIATES LIMITED

Per 
Darren L. Alexander, P. Eng.

DLA:es
Encl.



TECHNICAL MEMORANDUM

TO:	<u>Jeff Wolfe</u>	MTE FILE NO.:	<u>35499-115</u>
COMPANY:	<u>Town of St. Marys</u>	DATE:	<u>December 6, 2017</u>
CC:	<u>Craig Linton – Developro</u>	FROM:	<u>Jamie Dick</u>
	<u>Land Services Inc.</u>	PROJECT NAME:	<u>Thamescrest Subdivision</u>

Re: Sight Distance Analysis for Emily Street and Lot 33 Driveway

Introduction

MTE Consultants was retained by Thamescrest Farms Ltd to prepare a Sight Distance Analysis between Emily Street and the Lot 33 driveway for the removal of the H3 zoning provision. The Stopping Site Distance analysis was completed according to the Transportation Association of Canada ("TAC") Geometric Design Guide for Canadian Roads, June 2017.

Road Network

Emily Street is a local road within the Town of St Marys with a posted speed limit of 50km/h at the proposed driveway to Lot 33. For the site distance analysis; a design speed of 60km/h (10km/h over the reduced posted speed) was utilized.

Stopping Sight Distance


Sight distance calculations were completed in accordance with the Geometric Design Guide for Canadian Roads ("GDGCR TAC 2017"). The minimum stopping sight distance ("SSD") is based on a design speed of 60km/h and an upgrade of 3%.

The minimum SSD required for Emily Street is 80m; see Figure 1 for (Table 2.5.3 from the GDGCR TAC 2017). The SSD is used to verify that vehicles driving north on Emily Street have an adequate distance to stop for vehicles which may be waiting to pull out from the Lot 33 driveway. The available turning sight distances and the center line road profile for Emily Street are presented on Figure 2.0.

Conclusions

The minimum stopping sight distance of 80m is not achieved for this scenario. A maximum sight distance of 61m is available due to the tunnel abutment. The operating speed limit on Emily Street would need to be reduced to 40km/h to achieve a SSD of 61m for a design speed of 50km/h as seen in the Figure 1 table.

MTE CONSULTANTS INC.



Jamie Dick, P.Eng.
Design Engineer

M:\35499\115 (Emily Street construction)\02 - Reports\MTE Reports\35499-115 - Sight Distance Review.doc

MTE Consultants Inc.

365 Home Street
Stratford, Ontario N5A 2A5
Phone: 519-271-7952
Fax: 519-271-3545

www.mte85.com

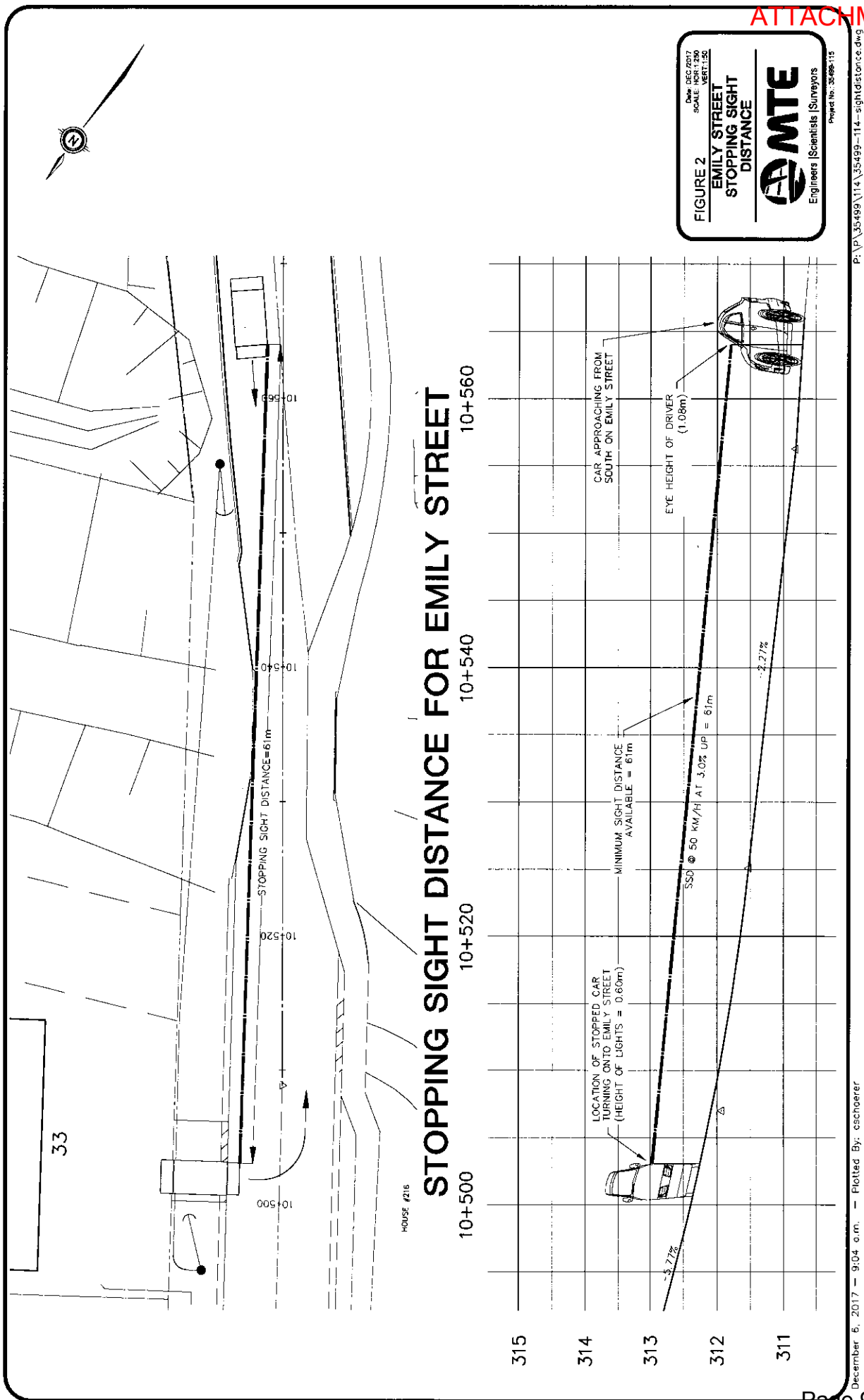


TECHNICAL MEMORANDUM

Figure 1.0 – Stopping Sight Distance

Table 2.5.3: Stopping Sight Distance on Grades⁵⁵

Design Speed (km/h)	Stopping Sight Distance (m)					
	Downgrades (%)			Upgrades (%)		
	3	6	9	3	6	9
20	20	20	20	19	18	18
30	32	35	35	31	30	29
40	50	50	53	45	44	43
50	66	70	74	61	59	58
60	87	92	97	80	77	75
70	110	116	124	100	97	93
80	136	144	154	123	118	114
90	164	174	187	148	141	136
100	194	207	223	174	167	160
110	227	243	262	203	194	186
120	263	281	304	234	223	214
130	302	323	350	267	254	243



FORMAL REPORT

To:	Mayor Strathdee and Members of Council
Prepared by:	Jason Silcox, Building Inspector
Date of Meeting:	12 June 2018
Subject:	DEV 26-2018 Request for Sign Variance (6 Jones Street East)

PURPOSE

The purpose of this request is to present Council with information on a sign permit application submitted by the owner of 6 Jones Street East and staff's decision not to issue the permit. The owner is requesting that Council grant a variance to the Town's Sign By-Law.

RECOMMENDATION

THAT DEV 26-2018 Request for Sign By-law Variance (6 Jones Street East) report be received; and,
THAT Council does not approve a variance to the Town of St. Marys Sign By-Law for 6 Jones Street East.

BACKGROUND

The property at 6 Jones St East sits in the Town of St. Marys' "Heritage Conservation District". The owners have submitted a sign permit for an internally illuminated box sign for the façade of the building.

Applications for a sign permit at this address needs to be submitted and reviewed by both the Heritage Conservation District Committee and the Heritage Committee as well as the building department to make sure they comply with all Town by-laws and guidelines of the Heritage Conservation District Plan.

REPORT

Staff have reviewed the application for a sign permit for 6 Jones Street East. Upon staff's review of the Sign By-Law No.33-2005 and upon review of the Heritage Conservation District Plan guidelines it was found that the application did not meet several requirements in the Sign By-law or the Heritage Conservation District Plan.

Under the Sign By-Law, Section 9.0 Central Commercial District: "(a) box fascia sign or an internally illuminated sign is prohibited in the Central Commercial District".

In addition, plexiglass and aluminum materials are discouraged unless it can be demonstrated that these materials won't detract from the building / or neighbouring buildings.

The guidelines of the Heritage Conservation District Plan reference new commercial property in several locations in the plan. All refer to respecting the existing architecture of the Heritage Conservation District. It makes mention that improvements to non-heritage buildings are to be sympathetic to the overall character of the district and the streetscape. Section 4.7 "Building Signage" states that "Commercial signs should be seen as a potential to contribute to, rather than detract from, the character of the area." It also states that "Where appropriate, corporate image requirements for signage such as specific colours and profiles, should be adapted to be compatible with the character of the District."

The Heritage Conservation District Advisory Committee (HCDAC) and Heritage St. Marys have reviewed the application and recommended approval of the application on the condition that the sign will not be backlit. The applicant has agreed to remove the lighting option from the sign.

Despite support from the HCDAC and Heritage St. Marys, the proposed sign is still a prohibited sign under the Sign By-law. In staff's review, the proposed sign doesn't take into account the overall character of the district and streetscape, and does not meet the test of "contributing to, rather than detracting from the district". Recently a similar test was applied to a heritage permit application by Tim Hortons which resulted in the company having to revise their planned renovations. When considering the application for 6 Jones Street East staff must also consider this recent precedent for consistency.

Based on the application submitted, considering recent precedents, and considering the fact that that the proposed sign is not permitted under the existing Sign By-Law, staff is not authorized to approve the sign permit application.

SUMMARY

The proprietor for 6 Jones Street East has made an application to replace an existing sign with a new sign, the application was forwarded to the Heritage Conservation District Advisory Committee and Heritage St. Marys.

The Heritage Conservation District Advisory Committee and Heritage St. Marys reviewed the application and recommended approval of the application if the sign was not backlit and it would be in the same location as the current sign.

Staff has reviewed the application and is unable to authorize the permit because the type of sign applied for is not permitted in the Sign By-Law. The applicant has requested a variance from Council.

Staff recommends that a variance not be granted for the following reasons,

- 1- The proposed sign is not permitted in the Sign By-law 33-2005, section 9.0(a),
- 2- The proposed sign is not sympathetic to the Heritage Conservation District Plan, and
- 3- The proposed sign does not follow the guiding principles of the Town of St Marys Strategic Plan.

FINANCIAL IMPLICATIONS

None

STRATEGIC PLAN

☒ Staff's recommendation is supported by the following priorities, outcomes, and tactics in the Plan.

- Pillar #4- Culture and Recreation and Pillar #5 Economic Development
 - Strategic Priority Area: Downtown Revitalization Plan
 - Tactic(s):
 - New development should conform to the existing heritage aesthetic as per either the Heritage Conservation District Plan or the new cultural initiatives approach.
 - Investigate options for incentivizing or enforcing standards for heritage properties after the review of the HCDP.
- Pillar #5- Economic Development:
 - Outcome: Emphasize Culture as a Key Economic Driver for the Community
 - Tactic(s): Provide an attractive and well-functioning streetscape in the downtown core.

OTHERS CONSULTED

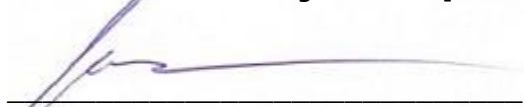
As noted in the attached documents.

ATTACHMENTS

- 1-Staff Report from the Heritage Committee dated May 25, 2018.
- 2- Staff Report from the Heritage Conservation District Committee dated May 25, 2018.
- 3-Picture of current store front.

REVIEWED BY

Recommended by the Department



Grant Brouwer
Director of Building and Development

Recommended by the CAO



Brent Kittmer
CAO / Clerk





STAFF REPORT

Report To: Planning & Building Department

Submitted By: Heritage Conservation District Committee

Prepared By: Trisha McKibbin, Director of Corporate Services/Deputy Clerk

Date of Report: May 25, 2018

Subject: **Sign Permit Application – 6 Jones Street East**

RECOMMENDATION:

That the St. Marys Heritage Conservation District Committee recommends that a sign permit be granted for the application submitted for 6 Jones Street East.

BACKGROUND:

A Heritage Permit Application for 6 Jones Street East was forwarded by the Building and Zoning Department to the St. Marys Heritage Conservation District Committee for review and comment. At the May 14, 2018 meeting the committee reviewed the application and made the following recommendation:

Moved: Bill Galloway

Seconded: Tony Winter

THAT the St. Marys Heritage Conservation District Committee recommends the issuance of a heritage permit on the basis that:

1. The sign is not back-lit
2. The sign is situate din the same location as the current sign.

Carried

CONCLUSION:

That the Planning & Building Department accept the recommendation from the St. Marys Heritage Conservation District Committee to grant a Heritage Permit for the application submitted for 6 Jones Street East.

Respectfully submitted,

A handwritten signature in black ink, reading 'Trisha McKibbin', is positioned above a horizontal line.

Trisha McKibbin,
Director of Corporate Services



STAFF REPORT

Report To: Planning & Building Department

Submitted By: Heritage Committee

Prepared By: Trisha McKibbin, Director of Corporate Services/Deputy Clerk

Date of Report: May 25, 2018

Subject: Sign Permit Application – 6 Jones Street East

RECOMMENDATION:

That the St. Marys Heritage Committee recommends that a sign permit be granted for the application submitted for 6 Jones Street East.

BACKGROUND:

A Heritage Permit Application for 6 Jones Street East was forwarded by the Building and Zoning Department to the St. Marys Heritage Committee for review and comment. At the May 12, 2018 meeting the committee reviewed the application and made the following recommendation:

Moved: Stephen Habermehl
Seconded: Sherri Gropp

THAT the St. Marys Heritage Committee recommends the approval of a replacement sign at 6 Jones Street East on the condition that it will not be backlit.

Carried

CONCLUSION:

That the Planning & Building Department accept the recommendation from the St. Marys Heritage Committee to grant a Heritage Permit for the application submitted for 6 Jones Street East.

Respectfully submitted,

A handwritten signature in black ink, reading 'Trisha McKibbin', is positioned above a horizontal line.

Trisha McKibbin,
Director of Corporate Services

FORMAL REPORT

To:	Mayor Strathdee and Members of Council
Prepared by:	Brent Kittmer, CAO/Clerk
Date of Meeting:	12 June 2018
Subject:	CAO 22-2018 Prohibit and Regulate Activities at St. Marys Quarries By-law

PURPOSE

To provide the information needed for Council to pass a by-law which can be enforced under the *Provincial Offences Act*.

RECOMMENDATION

THAT CAO 22-2018 Prohibit and Regulate Activities at St. Marys Quarries By-law be received; and
THAT Council approve By-Law 57-2018, being a by-law to prohibit and regulate activities at the St. Marys Quarries.

BACKGROUND

The Town of St. Marys passed By-Law 53-66 in 1966 for the purpose of prohibiting and regulating bathing, swimming and washing of the person, at the area known as the St. Marys Quarry. The By-law has been attached for your reference. Staff have received a number of citizen complaints over the years regarding the act of trespassing in the west quarry, and acting in a manner contrary to the by-law. Staff has asked the Town's police services provider to monitor the area and enforce the by-law, only to learn that the by-law was not enforceable as Short Form Wording has never been submitted to the Attorney General for approval.

REPORT

The Town of St. Marys passed By-Law 53-66 in 1966 for the purpose of prohibiting and regulating bathing, swimming and washing of the person, at the area known as the St. Marys Quarry. The By-law solely addressed activities in the east quarry, also known as the swimming quarry.

The east quarry is a Town asset which is currently open to the public during a specific period of time for the purpose of recreation activities such as swimming lessons, general swimming, and occasionally for the purpose of other water related recreation activities. All of these activities are observed by St. Marys Lifeguards. These current activities similarly match the activities that were permitted in 1966.

The activities of the west quarry have never been regulated or prohibited by by-law. Around 2004 – 2005 upon the recommendation by the Town's insurer, fencing was installed around the west quarry for the purpose of providing safety to the quarry users. Over time staff have installed regulatory signs on the fencing.

In the summer of 2016, staff met with the Town's insurer to discuss the liability associated with the west quarry. At that time, the insurer suggested better signage indicating the permitted uses (larger, simpler wording placed at the entrance); making the entrance more noticeable (trim tree branches, lay gravel

to depict a trail); and to determine who would enforce a by-law. During this time, staff also learned that the by-law did not provide any form of enforcement measures.

Staff have redrafted the by-law to include permitted activities of the West and East Quarry, as well as including provisions within the by-law that can be enforced by the Town's active police services agency. The by-law, as drafted, limits the permissible uses of the west quarry to the historic use of fishing only. If Council wishes to change the permitted uses of either quarry, it is staff's recommendation that Council give direction to staff on the other permissible activities that Council would allow and staff will report back to Council prior to the passing of this By-law.

However, if Council is agreeable with the proposed by-law, the steps following the passing of the by-law include seeking the Attorney General and Senior Regional Justice's approval for the proposed infractions. Upon the approval of both parties, the by-law can be enforcement and any persons partaking in activities contrary to the by-law can be issued an infraction notice.

SUMMARY

It is staff's recommendation that Council pass a new by-law that lists the activities it wishes to prohibit and regulate at the St. Marys Quarries. Once passed, staff will seek the Attorney General and Senior Regional Justice's approval.

FINANCIAL IMPLICATIONS

None.

STRATEGIC PLAN

☒ Not applicable to this report.

OTHERS CONSULTED

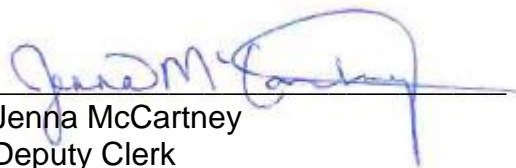
Grant Brouwer, Director of Building and Development
Stephanie Ische, Director of Community Services
Ray Cousineau, Facilities Supervisor
Jo-Anne Lounds, Corporate Risk Management & Procurement Specialist
Frank Cowan Insurance

ATTACHMENTS

By-law 53-66

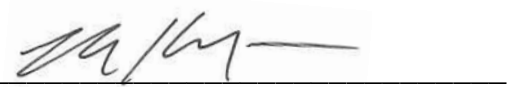
REVIEWED BY

Recommended by the Department



Jenna McCartney
Deputy Clerk

Recommended by the CAO



Brent Kittmer
CAO / Clerk

BEING a By-law to prohibit and regulate bathing, swimming and washing of the person, at the area known as the St. Marys Quarry,

WHEREAS the Corporation of the Town of St. Marys is the owner of the lands, water and premises in the Town of St. Marys in the County of Perth and being composed of Lots 14 to 28 both inclusive, Wellington Street West and Water Street East in the said Town of St. Marys and being the land and water area commonly known as the St. Marys Quarry.

AND WHEREAS the municipal council of the said Corporation deems it in the public interest to regulate bathing, swimming and washing of the person in the said St. Marys Quarry.

AND WHEREAS pursuant to the Municipal Act, R.S.O. 1960, Chapter 249, the said council is empowered to pass by-laws dealing generally with the health, sanitation and safety of the municipality, and in particular, is empowered to prohibit and regulate the bathing or washing of the person in any public water in or near the municipality.


AND WHEREAS the said St. Marys Quarry is a public water.

NOW THEREFORE BE IT ENACTED as a By-law of the Corporation of the Town of St. Marys as follows:-

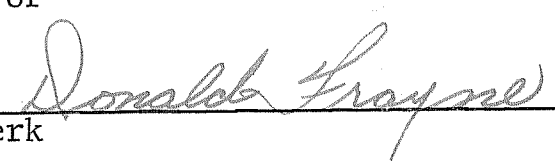
1.- Swimming, bathing or washing the person in the said St. Marys Quarry is prohibited except in those areas of the said St. Marys Quarry as may be from time to time defined and posted as areas where such swimming, bathing or washing the person is permitted.

2.- Swimming, bathing or washing the person in the said St. Marys Quarry is prohibited at all times except those times when municipal life-guards are on duty.

FINALLY PASSED this 26th day of July, A.D. 1966.



Mayor



Clerk

FORMAL REPORT

To: Mayor Stratthdee and Members of Council

Prepared by: Trisha McKibbin, Director of Corporate Services

Date of Meeting: 12 June 2018

Subject: **COR 16-2018 Video Surveillance Policy**

PURPOSE

To provide Council with information on video surveillance in the municipality, the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)* implications, and to present Council with a final version of the Municipal Video Surveillance Policy for adoption.

RECOMMENDATION

THAT COR 16-2018 Video Surveillance Policy be received; and

THAT By-law 60-2018 being a by-law to approve a Municipal Video Surveillance Policy be approved.

BACKGROUND

On March 20, 2018 staff brought forward a draft Municipal Video Surveillance Policy to the Strategic Priorities Committee. At that meeting staff were directed to investigate the legislative requirements of the municipality should a police service request surveillance records for the purpose of generating public feedback about identifiable individuals.

REPORT

Notice of Collection

MFIPPA requires that individuals be notified of the collection of their personal information, subject to specific and narrow exceptions. Specifically, section 29(2) of *MFIPPA* provides that an individual must be informed of:

- (a) The legal authority for the collection;
- (b) The principal purpose or purposes for which the personal information is intended to be used; and
- (c) The title, business address and business telephone number of a public official who can answer the individual's questions about the collection.

It is therefore recommended that the Town implement the following:

- Signs with a clear, language-neutral graphical depiction of the use of video surveillance are prominently displayed at the perimeter of the monitored areas and at key locations within the areas. The signs should include basic information to clarify that video surveillance is being used in the area.
- The information required by paragraphs (a)–(c) of section 29(2) of *MFIPPA* is available and easily accessible on the Town's website.

Lawful Disclosure

While there may be other situations where the disclosure of video surveillance footage is permitted, video surveillance may be disclosed to a law enforcement agency when:

- the law enforcement agency approaches the Town with a warrant requiring the disclosure of the footage, as per section 32(e) of *MFIPPA*,
- the law enforcement agency approaches the Town, without a warrant, and asks that we disclose the footage to aid an investigation from which a proceeding is likely to result, as per section 32(g) of *MFIPPA*, or
- staff observe an illegal activity on our premises and disclose the footage to a law enforcement agency to aid an investigation from which a proceeding is likely to result, as per section 32(g) of *MFIPPA*.

The municipality is responsible for complying with *MFIPPA* when releasing the information to law enforcement. Once the record is in the hands of law enforcement they become responsible for complying with all legislative requirements, including *MFIPPA*, for safekeeping of personal information.

In the instances where disclosure is permitted, the Town must protect the privacy and security of the personal information on the video surveillance. Section 3 of Regulation 823 of *MFIPPA* requires institutions to define, document and put in place reasonable measures to prevent unauthorized access as well as inadvertent destruction or damage of records. Accordingly, when disclosing personal information, it is important that the municipality:

- Maintains an auditable log of each disclosure;
- Ensures the log includes the date, time and location of the footage and, where applicable, the case file number of the law enforcement agency's investigation;
- Ensures the log also includes a description of the circumstances justifying the disclosure, the amount of footage involved, the name, title and agency to whom the footage is being disclosed, the legal authority for the disclosure, the means used to disclose the footage and whether the footage will be returned or securely destroyed after use;
- Ensures that if digitized, the footage is securely encrypted.

Access

Individuals have a general right of access to records in the custody or under the control of institutions, under section 4 of *MFIPPA*. Additionally, individuals whose personal information is in the custody or under the control of institutions have a right of access to that personal information under section 36(1) of *MFIPPA*.

While an individual may have a right to access the relevant footage, the Town must remove or redact information from the video footage to protect the personal privacy of others on the video.

Retention

Section 5 of Regulation 823 of *MFIPPA* require institutions in general to retain personal information for at least one year after use, although Regulation 823 permits municipal institutions to reduce this time period through a resolution or bylaw. It is important to note that this retention requirement applies only to personal information that has been "used" by institutions. It does not apply to personal information that has been collected but not used, which in the case of video surveillance may have much shorter retention requirements.

Video Surveillance Policy

A Video Surveillance Policy assists the Town in defining, documenting and fulfilling the requirements set out in section 3 of Regulation 823 of *MFIPPA*. The attached draft Video Surveillance Policy sets out the guidelines for the following:

Guidelines	Section of Policy
A description of the status of the Town under <i>MFIPPA</i> and the duties and responsibilities that arise as a result of this status. Includes the Town's obligations with respect to notice, access, use, disclosure, retention and disposal of records in accordance with <i>MFIPPA</i> .	Section 1.0, pg. 1 Section 2.0, pg. 1
The rationale, objectives and justification for implementing the video surveillance program.	Section 1.0, pg. 1
Description of the nature of the personal information collected.	Section 3.0, pg. 1
Limitations placed on access to and use of personal information by employees, including the individuals that can view the information and under what circumstances it may be viewed. A description of the procedure that must be followed in the event that an employee is requested to disclose personal information.	Section 5.4, pg. 3
The potential consequences to employees if they breach policies or procedures.	Section 8.0, pg. 5
The designation of a senior staff member to be responsible for the Town's privacy obligations under <i>MFIPPA</i> and its policy.	Section 6.0, pg. 4
The administrative, technical and physical safeguards implemented by the Town to prevent unauthorized access to personal information and to protect personal information from inadvertent destruction or damage.	Section 5.4 , pg. 3
The duties and responsibilities of employees in implementing the administrative, technical and physical safeguards put in place. This includes the signing of a written agreement to adhere to these duties, including an undertaking of confidentiality, and to undergo initial and ongoing privacy training.	Section 6.0, pg. 4
The retention periods of the surveillance footage.	Section 5.5, pg. 3

SUMMARY

This report provides Council with information on video surveillance and the Town's obligations under the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, as well as a Video Surveillance Policy for Council's review and adoption.

FINANCIAL IMPLICATIONS

Manufacturing and installation of new signage - \$2,000

STRATEGIC PLAN

☒ Not applicable to this report.

OTHERS CONSULTED

Mike Kuttschrutter, IT Network Administrator

Ray Cousineau, Facilities Supervisor

Evelina Skalski, Manager, Records and Information Services, City of London

ATTACHMENTS

Video Surveillance Policy

Video Surveillance Systems Location and Schedule

REVIEWED BY

Recommended by the Department



Trisha McKibbin

Director of Corporate Services

Recommended by the CAO



Brent Kittmer

CAO / Clerk

VIDEO SURVEILLANCE POLICY

1.0 PURPOSE

Video surveillance, when utilized with other security measures, is an effective means of ensuring the security and safety of the Town of St. Marys facilities, the individuals who use them, and the assets housed within them. However, the need to ensure security and safety must be balanced with an individual's right to privacy.

The Town recognizes that video surveillance technology has a potential for infringing upon an individual's right to privacy. The Town's objective is to balance individuals' right to privacy with the need to enhance the safety of Town employees, clients/patrons, visitors and property.

Although a video surveillance system may be required for legitimate operational purposes, it must be used in accordance with the *Municipal Freedom of Information and Protection of Privacy Act* ("MFIPPA"), as well as the Ontario Human Rights Code and the Canadian Charter of Rights and Freedoms.

The use of hidden surveillance systems to capture images of individuals without their knowledge is what is referred to as "covert surveillance". This policy is in place to establish guidelines for video surveillance systems that are not covert in nature.

This Policy establishes guidelines for the use of video surveillance systems within and around Town owned and leased buildings and properties.

2.0 LEGISLATED REQUIREMENTS

This Policy reflects the provisions of the *Municipal Freedom of Information and Protection of Privacy Act* (MFIPPA), Ontario Human Rights Code and the Canadian Charter of Rights and Freedoms.

3.0 DEFINITIONS

Personal Information is defined in Section 2 of MFIPPA as recorded information about an identifiable individual, which includes, but is not limited to, information relating to an individual's race, colour, national or ethnic origin, sex and age. If a video surveillance system captures and/or displays these characteristics of an identifiable individual or the activities in which he or she is engaged, its contents will be considered "personal information" under the Act.

Receiving Equipment refers to the equipment or device used to receive or record the personal information collected through a video surveillance system, including a camera or video monitor or any other video, audio, physical or other mechanical, electronic or digital device.

Record, also defined in Section 2 of MFIPPA, means any record of information, however recorded, whether in printed form, on film, by electronic means or otherwise, and includes: a photograph, a file, a microfilm, a videotape, a machine-readable record, and any record that is capable of being produced from a machine-readable record under the control of the Town of St. Marys.

Storage Device refers to a server, videotape, computer disk or drive, CD ROM, DVD, computer chip or other device used to store the recorded data or visual, audio or other images captured by a video surveillance system.

Town refers to The Corporation of the Town of St. Marys

Video Surveillance System refers to a video, physical or other mechanical, electronic or digital surveillance system or device that enables continuous or periodic video recording, observing, or monitoring of personal information about individuals. In this policy, the term "video surveillance system" may refer to any component associated with capturing and/or recording the image of an individual.

4.0 PUBLIC CONSULTATION

The Town acknowledges the importance of public consultation when new or additional video surveillance systems are considered for municipally owned buildings and property. The extent of public consultation may vary depending on the extent of public access.

When new or additional video surveillance systems are being considered for municipally owned or operated buildings to which the public are invited, such as a library, recreation facilities, or Town Hall, as well as for open public spaces such as streets or parks, notice shall be provided at the site and on the Town's website with an opportunity for public feedback.

When new or additional systems are contemplated inside municipal buildings or staff parking lots where there may be a high risk to staff or clients/patrons, consultation shall not be required.

5.0 PROCEDURE

5.1 Privacy Assessment

Prior to the installation, or significant changes to, video surveillance equipment, departments must ensure that the use is justified on the basis of significant safety concerns, or for crime prevention. Effects that the video surveillance system may have on personal privacy must be minimized. The Clerks Department will be consulted during the privacy assessment.

5.2 Installation and Placement

Video surveillance equipment shall be installed in strictly controlled access areas that have been identified as requiring video surveillance and should never include areas where the public and employees have a reasonable expectation of privacy such as washrooms and change rooms. Adjustment of monitor position must be restricted to ensure that only designated areas are being monitored. The Clerk, or designate, with have final authorization for all installation and placement of video surveillance cameras.

5.3 Notification Requirements

The public must be notified of the existence of video surveillance equipment by clearly written signs prominently displayed at the entrances, exterior walls, and interior of buildings and/or perimeter of the video surveillance areas. Signage must satisfy the notification requirements under section 29(2) of Municipal Freedom of Information and Protection of Privacy Act and contain the following information:

- The legal authority for the collection;
- The principal purpose(s) for which the personal information is intended to be used; and
- The title, business address and business telephone number of someone who can answer questions about the collection.

5.4 Access to video surveillance footage

Circumstances which warrant viewing the information obtained through video monitoring are limited to incident and accident reports that occur at recreational facilities and other town properties, requests from a law enforcement agency and Municipal Freedom of Information requests.

Access to video surveillance systems and information obtained through video monitoring is strictly limited to the Information Technology Department and the Facilities Supervisor. The ability to approve copying recorded surveillance images is limited to the Clerk, or designate, and subject to obtaining the required authorization as set out in sections 2 through 4 below.

1. Surveillance images that have not been accessed for any purpose shall be automatically erased by the system according to the Records Retention – Video Surveillance Schedule. Surveillance images that have been accessed will be subject to a separate retention period in accordance with the Records Retention Schedule.
2. Requests for copies of recorded surveillance images shall be logged in the Video Surveillance Footage Request system and must include sufficient detail to address the following:
 - Contact Information, department, staff name, phone extension, e-mail address and date of request

- Date, time, description of event and camera location
 - Type of Request:
 - Incident or Accident requests
 - Law Enforcement Investigation
 - Municipal Freedom of Information Request
3. Requests for copies of recorded surveillance images are authorized by the Clerk, or designate, prior to release.
4. Third party service providers and Law Enforcement officers granted access to records created as a result of video surveillance must agree that any records dealt with or created pursuant to the video surveillance program remain under the Town of St. Marys' control and are subject to the provisions of the Municipal Freedom of Information and Protection of *Privacy Act*.

5.5 Collection and Disposal

Personal Information collected by the Town pursuant to this Policy will be recorded and will only be used for the purposes set out herein, or as may otherwise be permitted or required by law. For example personal Information may be disclosed to the police or other law enforcement agencies in Canada to aid an investigation. In the event of a reported or observed incident, the review of recorded information may be used to assist in the investigation of the incident.

Disclosure of storage devices should be made to authorities only upon the presentation by the authorities of a warrant or court order for the same and upon completion of a form setting out the name of the individual(s) who took the storage device, under what legal authority, the date and whether the storage device will be returned or destroyed after its use by the authorities.

Storage devices containing personal information may be shared with third party service providers who have a need to access such information and only upon them entering into an agreement to keep such information confidential and handle the personal Information in accordance with the terms of this Policy and applicable law.

Upon receipt of a request and supply of video surveillance a second copy will be made of the information provided and stored in a secure place by the Clerk, or designate.

Storage devices (videos) that are not in use must be dated, labelled and stored securely. Access to the storage devices (videos) should only be by authorized personnel. Logs must be kept of all instances of access to, and use of, recorded material. The personal information recorded by video surveillance is subject to the Municipal Freedom of Information and

Protection of Privacy Act. Circumstances which warrant review of the information are limited to an incident that has been reported or to investigate a potential crime.

5.6 Records Retention

The retention periods for video surveillance images are governed by the receiving equipment, and are for thirty days. Requests from law enforcement agencies, a department manager, or MFIPPA request will be for the same duration as FOI request as governed by the Town of St. Marys Records Retention By-law.

6.0 DESIGNATED RESPONSIBILITIES

1. The Clerk, or designate, is responsible for ensuring that the implementation and administration of any video surveillance system is in accordance with this procedure and the Video Surveillance Policy. This includes:

- Documenting the reason for implementation of a video surveillance system for each designated area;
- Maintaining a record of the locations of the video surveillance equipment;
- Maintaining a list of personnel who are authorized to access and operate the system(s);
- Maintaining a record of the times when video surveillance will be in effect;
- Posting Notice of Collection(s); and
- Assigning a person responsible for the day to day operation of the system in accordance with the policy, procedures and directions that may be issued.

All requests must be submitted to the Clerk, or designate, for approval prior to purchasing and installing any video surveillance device.

2. The Information Technology Department, in conjunction with the Clerk, or designate, provide leadership, management and control over video surveillance application systems in order to ensure corporate strategies are supported, standardized, consistent and reliability.

3. The Clerk, or designate, is responsible for administering the requirements of Municipal Freedom of Information and Protection of Privacy Act and maintaining the following:

- a record of the locations of all video surveillance monitors;
 - the location of postings of all Notices of Collection;
 - a list of personnel who are authorized to access and operate the systems;
 - a record of times when the video surveillance will be in effect); and
 - control over the access and release of personal information recorded by the system.
- Maintain a log of all releases to law enforcement or FOI requests.

4. The video needs assessment will be assessed by the Clerk, or designate, to ensure compliance with the principles of Municipal Freedom of Information and Protection of Privacy Act and other relevant legislation.

5. Where the Town has a contract with a service provider, the contract shall provide that failure by the service provider to comply with the policy or the provisions of the Municipal Freedom of Information and Protection of Privacy Act and other relevant legislation is considered a breach of contract leading to penalties up to and including contract termination.

7.0 SIGN STANDARDS

Signage must satisfy the notification requirements under section 29(2) of Municipal Freedom of Information and Protection of Privacy Act and contain the following information:

- The legal authority for the collection;
- The principal purpose(s) for which the personal information is intended to be used; and
- The title, business address and business telephone number of someone who can answer questions about the collection.

The size of the sign shall fit the individual situation.

8.0 BREACH OF POLICY

Employees are responsible for compliance with this policy and shall be aware that any employee who breaches this policy may be subject to discipline up to and including dismissal.

List of Video Surveillance Systems

LOCATION	REQUESTED BY	DATE INSTALLED	AREA COVERED	RECORDING TIME	RECEIVER RETENTION	LOCATION SIGNAGE POSTED	Reason for Installation
Museum – 177 Church St. S.	Museum Manager	2008	Parking lot and exterior entrances of Barn and House	24 hours a day	Up to 30 days	Entrance to building	Installed due to vandalism to Museum Property
	Authorized Access	IT Network Administrator, Facilities Supervisor					
	Authorized to view	Senior Leadership Team					
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Guest Services Desk/lobby	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Arena Change Room Hallway facing East	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Arena Change Room Hallway Facing west	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2012 approximately	Friendship Centre Main Hall facing fire place	24 hours a day	Up to 30 days	Entrance to Building	Installed due to damage in Friendship Centre
Pyramid Recreation	Facility Supervisor	2013 approximately	PRC Community Centre Stairs	24 hours a day	Up to 30 days	Entrance to Building	Installed to ID deviants at functions

Centre 317 James St. S.							
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2012 approximately	Friendship Centre Main Hall facing Customer service desk	24 hours a day	Up to 30 days	Entrance to Building	Installed due to damage in Friendship Centre
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2012 approximately	Friendship Centre East Hall door Entrance	24 hours a day	Up to 30 days	Entrance to Building	Installed due to damage in Friendship Centre
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2012 approximately	Friendship Centre MP room	24 hours a day	Up to 30 days	Entrance to Building	Installed due to damage in Friendship Centre
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Pool Hallway facing east	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Pool Hallway 2 facing Women change room door	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Pool Hallway 3 facing Men Change room door	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Blue Rink ice surface stairs	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Canteen Lobby Area	24 hours a day	Up to 30 days	Entrance to Building	Original build

Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Lobby Entrance by Blue Rink	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Hallway/Lobby by Blue Rink	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	North Exterior Wall	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Rock Rink and Stands East view	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Rock Rink stairs by Lincoln Room	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Blue Rink East view	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Community Centre stairs/IT room	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Main Lobby/East entrance	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation	Facility Manager	2007	Rock Rink stairs and walkway	24 hours a day	Up to 30 days	Entrance to Building	Original build

Centre 317 James St. S.							
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Southwest Driveway by flag poles	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Upstairs Hallway	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2009 approximately	Youth Centre facing door	24 hours a day	Up to 30 days	Entrance to Building	Installed when Youth Center built
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2009 approximately	Endzone 2	24 hours a day	Up to 30 days	Entrance to Building	Installed due to issues at bar functions
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2013 approximately	Community Center Stairs 2	24 hours a day	Up to 30 days	Entrance to Building	Installed to ID deviants at functions
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2012 approximately	Friendship Centre South doors (Main Entrance)	24 hours a day	Up to 30 days	Entrance to Building	Installed due to damage in Friendship Centre
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Community Center 1/3 hall	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Community Centre 2/3 hall	24 hours a day	Up to 30 days	Entrance to Building	Original build

Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Blue Rink East view of stands	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Pool Family Change Room Door	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Guest Service desk 2	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Outside North side of pool	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Rock Rink East view players bench side	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Supervisor	2009 approximately	Youth Centre view of TV area	24 hours a day	Up to 30 days	Entrance to Building	Installed during build of youth center
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Elevator door and stairs lobby area	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	ATM machine and stairs lobby area	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation	Facility Manager	2007	Blue Rink Ice West view	24 hours a day	Up to 30 days	Entrance to Building	Original build

Centre 317 James St. S.							
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Canteen 2 – Rock Rink Lobby south view	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Endzone bar area	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Rock Rink Ice west view, players benches	24 hours a day	Up to 30 days	Entrance to Building	Original build
Pyramid Recreation Centre 317 James St. S.	Facility Manager	2007	Splash Pad and pool entrance	24 hours a day	Up to 30 days	Entrance to Building	Original build
	Authorized Access	IT Network Administrator, Facilities Supervisor					
	Authorized to view	Senior Leadership Team					
Fire Hall/Skate Park 172 James St. S.	Director of Community Services	2018	Rear of Fire Hall and all of Skate Park	24 hours a day	Up to 30 days		Installed due to vandalism and drug use at the Skate Park and Fire Hall properties
	Authorized Access	IT Network Administrator					
	Authorized to view	Senior Leadership Team					

[illegible]

FORMAL REPORT

To:	Mayor Strathdee and Members of Council
Prepared by:	Stephanie Ische, Director of Community Services
Date of Meeting:	12 June 2018
Subject:	DCS 12-2018 Follow-Up: Pickleball Courts on the Tennis Courts

PURPOSE

This report serves as a follow-up to DCS 09-2018 which was considered at the May 22, 2018 regular Council meeting. Further information is presented below in respect to the common agreements that have been established for creating two pickleball courts at the tennis facility, and possibilities for long term collaboration and promotion of racquet sports in St. Marys.

RECOMMENDATION

THAT DCS 12-2018 Follow-Up: Pickleball Courts on Tennis Courts be received, and
THAT Council approve Recreation and Leisure Master Plan recommendation #48; and
THAT Staff be directed to create two multi-purpose courts out of the Town's existing tennis courts to allow for pickleball play based on the common agreement described in staff report DCS 12-2018.

BACKGROUND

At the May 22, 2018 regular Council meeting, staff presented Council with recommendation #48 from the Recreation and Leisure Master Plan which recommends that the Town create additional space to play outdoor pickleball by creating two multi-purpose courts out of the Town's existing tennis courts. Council made the following motion.

2018-05-22-25

THAT the Town staff facilitate a meeting between representatives of the Tennis Club and Pickleball Club to arrive at a mutually agreeable design for use of 2 pickleball courts at the tennis courts and report back to Council at the next regular meeting.

Below is further information reporting back on the common agreements resulting from the meeting.

REPORT

On June 4, 2018 representatives from the Tennis Social Club, the Pickleball Social Club, and the Town met to review and discuss Council's direction above. Representing tennis were Andrea Macko and John Sipos. Representing pickleball were Marg Angus and Doug Diplock. Representing the Town were Stephanie Ische, Jenny Mikita, Hillary Bennett, and Brent Kittmer.

The meeting was a helpful learning exercise for each of the three parties to understand the others' perspectives. Council may find the following information informative as it relates to the interests of each group:

Town Interests

- Providing opportunities for healthy active lifestyles for all residents.

- Removing barriers to recreation, including the barrier of available time. This means providing more opportunities for spontaneous recreation activities.
- Providing sustainable, scale-appropriate, and cost effective recreation services.
- Following through on the recommendations of the Recreation and Leisure Master Plan. Administrative direction for short term and / or tricky recommendations to come forward in a timely manner to the Council that oversaw the completion of the plan.

Tennis Interests

- Long-term growth in spontaneous AND organized play (as individual players may seek new partners and organized play allows for potential partners to meet, etc.).
- More dedicated and active Town involvement in the promotion of the sport.
- Establishing a common understanding that tennis has the facilities, pickleball has the people and the promotion support, so working together can only be beneficial.
- Ability to have unimpeded play as they have historically had on Tuesdays and Thursdays.
- Accommodation of pickleball courts to have as little of an impact as possible on the ability to play competitive tennis. For competitive players, any change in the courts will impact the game, and new lines especially is viewed as fundamentally changing how the courts can be used for play.
- Establishing a common understanding that the Tennis Club has a vested interest in the courts due to their past efforts in driving the upgrades at the facility. Moving forward, all court users MUST contribute to any necessary maintenance and long-term capital costs.

Pickleball Interests

- Long term growth and participation in the sport.
- Having the ability for outdoor play within St. Marys in place of driving out of town and paying out of town fees.
- Having the ability for spontaneous play of pickleball.

Through the course of discussion the three parties were able to find common interests and mutually agreeable options on a number of items. This includes the immediate task of creating pickleball courts on two of the existing tennis courts, and ideas for collaboration and promoting racquet sports into the future.

The areas of agreement include:

Delineating the Pickleball Playing Surface (see attached rendering)

- The “non-volley zone” will be marked with 2 inch lines around its perimeter, preferably in a shade of red. The main-body of the zone will remain the existing blue colour of the tennis court.
- The serving/playing zone will be shaded, preferably a smoke or stone grey.
- To assist with boundary recognition, the existing white tennis centerline will be extended to the baseline of the pickleball playing area.
- To assist with boundary recognition, “L” shaped corner markers will be painted at each of the four corners of the pickleball courts. Size to be approximately 2 inches wide, six inches by six inches, with the preferred colour being a shade of red.

- All colour selections to be reviewed by the painting company for their professional opinion on the impact to play.
- The preferred courts to be painted are the North courts. The Town will be replacing a post that has become unfounded, and the nets will be tensioned to tennis playing height. Pickleball will use a mid-net tension strap to pull the midpoint of the net down to pickleball height rather than the Town leaving the handles on the tensioner.
- The two South courts are understood to remain tennis courts (without alterations or additions) in perpetuity.

Playing Times

- The Tennis Club will maintain its traditional Tuesday and Thursday night play.
- Pickleball will organize play for Wednesday nights.
- The Town will update the signage at the courts.

Long Term Collaboration

- The Town has a take away to review how to grow interest in tennis and pickleball, to be delivered through Senior Services / Youth Services.
- Both groups are willing to participate in free “open house” nights for the purpose of teaching and introducing newcomers to both sports.
- The Town will review the Community Guide, and spring/summer and fall/winter publications to ensure that drop-in play for tennis and pickleball are properly captured and promoted. Drop-in play needs to be properly captured and promoted as being promoted and sanctioned by the Town.
- The Town will organize more regular meetings between tennis, pickleball, and any other interested racquet sport group.

A question that was raised at the May 22, 2018 Council meeting was the ability for pickleball players to contribute to the costs of delineating the pickle ball courts, and their ability to contribute to the long term maintenance reserve required by the Ontario Trillium Foundation Grant. The pickleball representatives provided the following information in response:

- The Pickleball Social Club is a relatively new creation that is should be considered to be outside of the programming at the Friendship Centre.
- The Club has not yet established a financial model, and does not have a bank balance.
- If required to do so, the Club has a willingness to contribute to costs as necessary.

If Council were to require the Pickleball Social Club to contribute to the cost of creating the new courts options for Council to consider are:

- Require the Pickleball Social Club to raise funds in advance of the courts being painted; or
- Town to front end the costs and enter a deferred contribution agreement similar to the donation agreements for the Cadzow Park revitalization project.

SUMMARY

Recommendation #48 of the Recreation and Leisure Master Plan (RLMP) states that the Town create a total of two pickleball courts on two existing tennis courts. This recommendation is made in response to an identified growth in pickleball in St. Marys. What must be acknowledged alongside this recommendation is that RLMP recommendation #48 would not be possible unless the Town was in the fortunate position to have an excellent tennis facility. Although a Town facility, the project to rehabilitate

the tennis courts was driven by a group of dedicated volunteers from the tennis community. Without their efforts, the likely recommendation of the RLMP would have been to invest in upgrading the courts.

At Council's direction, a productive meeting between representatives of tennis, pickleball, and the Town was held on June 4, 2018. Through the meeting each party was better able to understand the interests of the others. Also, the three parties were able to come to common agreements on how to best paint a pickleball playing surface on the tennis courts, and how to collaborate and promote both sports into the future.

It is staff's recommendation that Council approve the creation of two pickleball courts at the tennis facility based on the common agreements described in this report. Staff have contacted the painting contractor and confirmed they could complete the painting within two weeks of Council's approval. The Courts would need to be shut down for one day to complete the work.

FINANCIAL IMPLICATIONS

Since the May 22, 2018 Council meeting staff have received an updated cost estimate from the resurfacing contractor. It is estimated to cost \$3,750 to have two pickleball courts painted.

STRATEGIC PLAN

- ☒ This initiative is supported by the following priorities, outcomes, and tactics in the Plan.
 - Pillar #4: Culture and Recreation – Recreation Services Master Plan:
 - Outcome: Assessing the real needs of residents in terms of providing the right fit for recreation services provided by the Town will require contracting out for a consultant who specializes in this area given the exhaustive analysis to be performed in providing key recommendations.
 - Tactic: Secure a consultant to complete a recreation master plan, implement the key recommendations as required, develop an inclusion policy, and review the long term effectiveness of the recreation master plan at key points in time to ensure currency and fit with the Town's priorities.

OTHERS CONSULTED

Pickleball Social Club: Marg Angus and Doug Diplock

Tennis Social Club: Andrea Macko and John Sipos. The Tennis Social Club has provided the following additional comments for Council to consider:

"The tennis court restoration project began quite modestly: a handful of tennis players knew that the courts needed improvement to remain safe and playable. We learned the ropes of fundraising and of municipal infrastructure to make the dream a reality. The entire project was paid for in advance of work beginning, and we are immensely proud of our efforts and of our community's support. There was no burden to the tax base beyond what the town was initially prepared to contribute for the existing facility.

We were surprised to learn that no payment plan was established when the pickleball line project was created, especially considering that there are existing options to play the sport in town, and that these courts would be additional to these options. There is also the consideration that the lines could potentially take funds away from existing programming as players opt for drop-in play rather than organized play through the Friendship Centre. The pickleball organization does have line options while waiting for the project to be funded: the tennis courts can be chalked or taped with pickleball lines, or linoleum-style line material can be used. Our tennis club used the previous courts until the day they were demolished -- their poor conditions only served to motivate our fundraising efforts.

The fundraising for the tennis courts took place over two years, and while dues were solicited from our members (plus raised funds through tournaments), the vast majority of the \$150,000 project cost came via grants and donations from the community. Considering the proportionately

small cost of painting the courts and the apparent popularity of pickleball, raising the estimated \$3,500 should be relatively straightforward, especially considering charitable receipts can be provided by the Town. Any funds raised beyond this amount can be placed in reserve for future maintenance. It is also a good sign of faith in their support of the courts and development of their sport beyond the support and organization provided by the Friendship Centre.

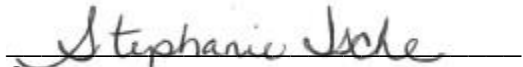
At our meeting, it was suggested that a payment agreement could be established (such as Lions Club and the Cadzow pavilion). But having an agreement in place with a long-established service club for a facility that the entire community can enjoy is different than automatically paying for a new organization's specific and specialized wants. We also believe that the "play before paying" format sets a dangerous precedent for the Town when it comes to recreation, for any organization."

ATTACHMENTS

1. Pickleball and tennis court rendering based on common agreement.

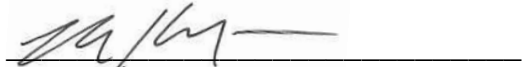
REVIEWED BY

Recommended by the Department



Stephanie Ische
Director of Community Services

Recommended by the CAO



Brent Kittmer, CAO / Clerk

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FORMAL REPORT

To:	Mayor Strathdee and Members of Council
Prepared by:	Stephanie Ische, Director of Community Services
Date of Meeting:	2018-06-12
Subject:	DCS 13-2018 Home Support Services Declaration of Compliance

PURPOSE

To obtain Council authorization to sign the South West Local Health Integration Network Form of Declaration of Compliance.

RECOMMENDATION

THAT DCS 13- 2018 Home Support Services Declaration of Compliance be received; and,

THAT Council authorize the Chief Administrative Officer to sign the South West Local health Integration Network Declaration of Compliance for the reporting period of April 1, 2017 to March 31, 2018.

BACKGROUND

The Town of St. Marys Senior Services department is funded \$421,000 annually through a Multi Sector Services Agreement with the South West Local Health Integration Network (SW LHIN). This funding is used to offset the costs of Home Support Services. As part of the Multi Sector Services Agreement with the SW LHIN the Town of St. Marys Senior Services department is required to submit an annual declaration of Compliance indicating that the funded agency (Home Support Services) has fulfilled all obligations under the services accountability agreement and have complied with required legislation.

Senior Services is required to submit annual and quarterly financial and statistical reports to the SW LHIN. It is through this process that any obligations which fall outside of the acceptable corridor of 10 percent above or below the budgeted financial or statistical amount are reported. Obligations that have not been met by year end are to be reported under Appendix 1 of Declaration.

REPORT

The Declaration of Compliance states:

“That the Health Service Provider (Senior Services Home Support Services) had fulfilled the obligations under the services accountability agreement (M-SAA) in effect during the Applicable Period. Without limiting the generality of the foregoing, the HSP has complied with:

- (i) Article 4.8 of the M-SAA concerning applicable procurement practices;*
- (ii) The Local Health System Integration Act, 2006”*

As per the requirements of the LHIN, to the best of the knowledge of the Director of Community Services, Home Support Services has fulfilled its obligations under the service accountability agreement in effect during the Applicable Period of April 1, 2017 to March 31, 2018, subject to exceptions identified on Schedule G, appendix 1.

SUMMARY

In summary, this report provides Council with Home Support Services Declaration of Compliance. This agreement is brought to Council annually for approval and reporting continues throughout the year so that Home Support can demonstrate their compliance in providing services to residents of St. Marys and area.

FINANCIAL IMPLICATIONS

None

STRATEGIC PLAN

☒ Not applicable to this report.

OTHERS CONSULTED

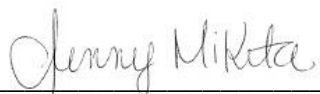
None

ATTACHMENTS

Schedule G – Form of Compliance Declaration
Appendix 1 – Exceptions.

REVIEWED BY

Recommended by the Department



Jenny Mikita
Senior Services Supervisor



Stephanie Ische
Director of Community Services

Recommended by the CAO



Brent Kittmer
CAO / Clerk

SCHEDULE G – FORM OF COMPLIANCE DECLARATION

DECLARATION OF COMPLIANCE

Issued pursuant to the M-SAA effective April 1, 2014

To: **The Board of Directors** of the South West Local Health Integration Network (the “LHIN”). Attn: Board Chair.

From: **The CAO** of The Corporation of the Town of St. Marys

Date: Tuesday, **June 12, 2018**

Re: **April 1, 2017- March 31, 2018 (the “Applicable Period”)**

Unless otherwise defined in this declaration, capitalized terms have the same meaning as set out in the M-SAA between the LHIN and the HSP effective April 1, 2014.

The Corporation has authorized me, by resolution dated Tuesday, **June 12, 2018** to declare to you as follows:

After making inquiries of the Director of Community Services, Stephanie Ische, and other appropriate officers of the HSP and subject to any exceptions identified on Appendix 1 to this Declaration of Compliance, to the best of the Corporation’s knowledge and belief, the HSP has fulfilled, its obligations under the service accountability agreement (the “M-SAA”) in effect during the Applicable Period.

Without limiting the generality of the foregoing, the HSP has complied with:

- (i) Article 4.8 of the M-SAA concerning applicable procurement practices
- (ii) The *Local Health System Integration Act, 2006*.

Brent Kittmer, CAO
Corporation of the Town of St. Marys

SCHEDULE G FORM OF COMPLIANCE DECLARATION

Schedule G – Form of Compliance Declaration Cont'd.

Appendix 1 - Exceptions

[Please identify each obligation under the MSAA that the HSP did not meet during the Applicable Period, together with an explanation as to why the obligation was not met and an estimated date by which the HSP expects to be in compliance.]

Functional Centre- Transportation: Number of visits below the corridor. We have experienced a decline in subsidized trips over the past few years, however we are starting to see a gradual increase again. This funding has been transferred to St. Marys Mobility for the 2018-19 budget year since they are the transportation provider.

Functional Centre - Visiting Social and Safety: Number of individuals below the corridor. We continue to have a wait list for this program. We have done some marketing to try and recruit volunteers.

FORMAL REPORT

To:	Mayor Strathdee and Members of Council
Prepared by:	Dave Blake, Environmental Services Supervisor
Date of Meeting:	12 June 2018
Subject:	PW 36-2018 Industrial Waste Surcharge Program

PURPOSE

The Town has completed a thorough review of the Industrial Waste Surcharge Agreement Program which is administered for the wastewater system in accordance with Section 15.1.1 of Municipal By-Law 46-2014. This report is to advise Council of the outcome of the “Consultation Period” with interested stakeholders regarding the proposed program changes and for Council to provide direction to Staff regarding the next steps.

RECOMMENDATION

THAT Report PW 36-2018 Industrial Waste Surcharge Program be received; and
THAT Council direct Staff to proceed with the Industrial Waste Surcharge Program transition.

BACKGROUND

On March 7, 2017, staff delivered report **PW 10-2017, Optimization of the Wastewater Treatment Plant** to the Strategic Priorities Committee for discussion. The report touched on several items related to the wastewater treatment plant, and system as a whole. Most notable, *Discussion No. 2, “Facility Effluent Loading Capacity”* and *Discussion No. 3, “What should be done regarding the Industrial Waste Surcharge Program”* resulted in a review of the existing Industrial Waste Surcharge program. As a follow-up report, on February 20, 2018, staff delivered report **PW 07-2018, Wastewater Industrial Waste Surcharge Program** to the Strategic Priority Committee for discussion. The report provided information related to the currently administered program, difficulties or concerns with its administration and a proposed modified program which could be considered.

As a result, Resolution 2018-02-20-04 was passed which stated the following:

THAT report PW 07-2018, Wastewater Industrial Waste Surcharge Program be received for discussion; and,

THAT the Strategic Priorities Committee recommends to Council:

THAT Council support an updated wastewater surcharge program as recommended by Staff in report PW 07-2018 and staff be directed to proceed with industry consultations in regards to the updated wastewater surcharge program with a report back to Council.

Since that time, staff have provided current and potential program users with an opportunity to review and comment on the proposed program modifications, draft Agreements and summary of changes.

REPORT

On April 13, 2018, Town Staff released a **“Stakeholder Consultation Package”** to industrial stakeholders in relation to the Industrial Waste Surcharge Program. The package that was provided consisted of an overview of why the material was being circulated, the work that has been completed

as part of the program review, and some of the key changes or modifications which are being considered. Also within the package was a copy of the DRAFT Agreement which was proposed, as well as a summary of changes which detailed the various proposed changes to the Agreement under a modified program. The consultation period was noted from April 13, 2018 to May 4, 2018.

The Town received one (1) inquiry as a result of the stakeholder consultation package which requested a few different scenarios be derived to depict the financial implications which could be expected as a result of the program transition. This information was subsequently provided by staff.

A follow-up correspondence was subsequently provided to program stakeholders on May 18, 2018 requesting any additional comments on the proposed program modifications. No additional responses were received.

Based on the lack of comments received as part of the stakeholder consultation, staff is recommending that the program transition move forward as proposed in report **PW 07-2018**.

The next phase of a program transition would include individual meetings with program users to review current agreements and termination processes, develop meaningful and sustainable capacity allocations based on current allotments, uses and processes and ultimately agree to a new Agreement that would be permitted under by-law from Council.

SUMMARY

Based on the information detailed within this report, it is recommended that staff receive direction from Council to implement the next phase of the Industrial Waste Surcharge Program transition. The next phase is to consist of meeting with current program users, advising of the program transition and developing new Agreements under the modified program.

FINANCIAL IMPLICATIONS

None at this time.

STRATEGIC PLAN

- ☒ This initiative is supported by the following priorities, outcomes, and tactics in the Plan.
- Pillar #2 – Communication & Marketing, Engagement:
 - Outcome: St. Marys is committed to engaging and informing residents and stakeholders in key decisions.
 - Tactic(s): Conduct internal and external surveys as necessary.
- Pillar #3 & 5 – Balanced Growth & Economic Development, Industrial Strategy:
 - Outcome: Industry has played, and continues to play, a key role in the life of the Town in providing employment and economic stability. Seeking new opportunities to attract small, medium and large industry is in the Town's best interest as part of its growth strategy.
 - Tactic(s): Align industrial strategy with both positioning, strategy and marketing / promotions plan. Ensure strategy is up to date with changing and new trends.
- Pillar #3 & 5 – Balanced Growth & Economic Development, Business attraction, retention & expansion program:
 - Outcome: A key to growth is to ensure a vibrant and sustainable commercial sector. Economic development needs to rest on three pillars, beyond the traditional business attraction. It should also focus attention and resources to ensure both business retention and expansion.
 - Tactic(s): Encourage existing businesses to optimize on their existing buildings / spaces

- Pillar #5 – Economic Development, Incubators:
 - Outcome: Future industrial success will require the ability to create and grow local businesses as well as attracting new enterprises to the community.
 - Tactic(s): Research the possibility of introducing business incubator(s) as part of the industrial strategy, including potential partners, budget, utilizing existing facilities, governance model, etc.

OTHERS CONSULTED

Interested Stakeholders

- Gourmet Dairy
- Cascades
- Perth County Ingredients
- Delmar Foods

Jed Kelly, Director of Public Works – Town of St. Marys

ATTACHMENTS

None

REVIEWED BY

Recommended by the Department



Dave Blake, C.E.T.
Environmental Services Supervisor



Jed Kelly
Director of Public Works

Recommended by the CAO



Brent Kittmer
CAO / Clerk

FORMAL REPORT

To:	Mayor Stratthdee and Members of Council
Prepared by:	Jed Kelly, Director of Public Works
Date of Meeting:	12 March 2018
Subject:	PW 32-2018 Traffic, Parking and Boulevard Maintenance By-law

PURPOSE

The purpose of this report is to present Council with the new Traffic, Parking and Boulevard Maintenance By-law in follow up to the discussion and direction given at the August 15, 2017 and February 20, 2018 Strategic Priorities Committee meetings.

RECOMMENDATION

THAT PW 32-2018 Traffic, Parking and Boulevard Maintenance By-law report be received; and,
THAT Council approve the following recommendations from the Strategic Priorities Committee:

1. THAT the Traffic By-law be adopted to implement a reduced speed school zone on James Street South in the area of DCVI; and
2. THAT the Traffic By-law be amended to extend the Community Safety Zone on James Street South from Elgin Street to the southern entrance to the Pyramid Recreation Centre; and
3. THAT the Victoria Bridge and Church Street Bridge not be load posted at this time; and
4. THAT the Town not pursue a ban on external to external truck traffic; and
5. THAT staff continue to focus on implementing traffic safety and calming solutions that will result in an overall improvement in the safe use of Town roadways by all vehicles; and
6. THAT the proposed amendments related to the administrative review of the existing Traffic By-law provisions conducted for the August 15, 2017 Strategic Priorities Committee meeting be approved; and

THAT \$15,000 be allocated for required signage changes from the road reserve fund; and

THAT By-Law 57-2018, Traffic, Parking and Boulevard Maintenance By-law, be approved for enactment on November 1, 2018..

BACKGROUND

The *Highway Traffic Act* (HTA) and the *Municipal Act*, Part III, are the governing piece of legislation that regulates traffic on roadways. Within the HTA, authority is delegated to municipalities to pass by-laws to regulate various traffic related matters on municipal roadways.

The Minimum Maintenance Standards for Municipal Highways O. Reg. 366/18: (MMS) (of the *Municipal Act*) sets out minimum standards for road and highway maintenance for all municipalities in Ontario. The MMS regulations apply to various elements of road repair, maintenance, and inspection frequency.

Primary areas include frequency of road inspections, street light repairs, weather monitoring, ice and snow accumulation on roadways & sidewalks, and sidewalk trip and encroachments hazards.

In 2017, staff initiated a review of the Town's traffic by-law because deficiencies in the by-law were observed. First, certain parts of the existing by-law do not conform to current HTA and MMS regulations and overlap with existing legacy by-laws. Secondly, the current by-law's signage schedules do not correspond to existing deployed signage. Thirdly, the existing by-laws lacks sufficient regulation for parking in public & municipal facility parking lots. Finally, the existing on-road allowance permit system was proving to be ineffective and hard to maintain.

At the August 15, 2017 meeting, the Strategic Priorities Committee (SPC) reviewed a number of recommended changes brought forward by staff. The SPC also reviewed a number of requests for truck traffic calming measures that were submitted by the Citizens Concerned About Heavy Truck Traffic (CCAHTT). After review, the SPC recommended a number of amendments to the Traffic and Parking By-law, 6 of 2014.

Staff returned with a final draft of the by-law for review at the February 20, 2018 Strategic Priorities committee meeting. The Committee provided the following direction to staff in regards to the by-law:

The committee requested that staff consider the following items when perfecting the by-law for Council's consideration:

- *Boundaries for the parking restrictions proposed for Rogers Ave. near the high school.*
- *Finalized language for the fire route at the CBHFM.*
- *Establishing signage for prohibiting U-Turns in the downtown core including Water Street, and any other signage.*
- *Confirm that the ban on bicycles in the downtown core is on sidewalks only.*

Staff were also asked to report back on: how the by-law changes would be communicated to the public; the cost of signage to implement the changes in the by-law; and a refined parking permit system.

Finally, the Committee considered new initiatives, and requests for reconsideration, tabled by the CCAHTT. The Committee was of the consensus that the by-law captured their intent with respect to the previously approved initiative regarding heavy truck traffic. The Committee reiterated the need to find balance between the needs of residents and the industrial and commercial stakeholders in the community.

This report serves as a report back on the direction of the Committee on February 20, 2018. For the June 12, 2018 Council meeting it is staff's goal for Council to pass the by-law in the form provided in the agenda, or in an amended form after deliberation. This course of action will serve to correct a number of traffic issues that have been noted by staff and the community.

To assist Council in their review of the changes to the by-law Attachment 1 to this report presents a matrix of the changes made to date.

REPORT

The original proposal presented by staff at the SPC meeting in August 2017 recommended that revisions to the Traffic and Parking By-law, 6 of 2014 be made through an amendment. However, after completing a thorough review process to incorporate the required changes, staff are now recommending that By-law 6 of 2014 be repealed and a new by-law be enacted.

A number of factors influenced staff's recommendation to repeal the by-law in its entirety, including; the sheer number of revisions, overlap with existing legacy by-laws, edits and new content required due to recent revisions in the MMS and HTA.

Ultimately, after much staff consideration, the conclusion is to re-structure the new by-law into three parts, (1) traffic, (2) parking and (3) boulevard maintenance. Revising the layout should enhance readability of the by-law; and ultimately improve enforcement mechanisms and remedy parking legacy

issues. Boulevard maintenance has been incorporated into the by-law since the August meeting as new MMS standards were revealed in early 2018.

This report will list an overview of the modifications made in the proposed by-law in contrast to the current by-law. For a more comprehensive detailed list of additions, removals, and revisions please see Attachment 1 Traffic By-Law Revision Matrix.

Minor Changes

- Consolidation or renumbering of sections to improve readability of the by-law
- Updated definitions to reflect the re-writing of several sections for example, pending police services changes and the updated 2016 staff organization chart
- Additional Schedules were created to better delineate sections of town

Consolidation of By-laws

Following the August 15, 2017 Strategic Priorities Committee meeting, Staff initiated a complete review of the current by-law while simultaneously reviewing any remaining by-laws that could be consolidated with the proposed Traffic, Parking and Boulevard Maintenance By-law. Thus, staff are recommending the following by-laws be consolidated in the new Traffic and Parking and Boulevard Maintenance By-law:

- By-Law 19-2003, To authorize certain parking, standing and stopping of vehicles operated by, or carrying, physically handicapped persons (updated terminology and content)
- By-Law 34-2002, To restrict the use of bicycles, skateboards, scooters and rollerblades / skates in the downtown core area
- By-Law 8-2000, To amend By-law 6 of 1995 (Motorized snow vehicles)
- By-Law 43-1998, To restrict weight of vehicles passing over the Bridge across Trout Creek on Water Street North
- By-Law 4-1998, To restrict weight of vehicles passing over the Bridge across Trout Creek on Water Street North
- By-Law 6-1995, To regulate the driving of motorized snow vehicles in Town

The consolidation of several by-laws into one comprehensive by-law will help reduce overlap, and will make referencing more straightforward.

Section 1.0 – Traffic

Staff and operators completed an audit of existing signage schedules within the by-law in comparison to actual in-field installations. The review included all stop and yield signage, no parking areas, school loading zones and community safety zones. Several edits to schedules were required to reflect current deployments and signage modifications will have to be undertaken to align with the proposed schedules.

Each section and subsection was reviewed to ensure that it was applicable to St. Marys. Some content was removed as provincial legislation speaks to the expectations (ie: No horse-drawn Vehicle shall be driven at a run or gallop) and some content was added (ie: Oversize or Overweight Load Permits). Some content was amalgamated in an effort to improve readability (ie: Obedience to Traffic Control Devices and Signals, and Traffic Control Signals and Traffic Control Devices).

Appropriate bicycle, skateboard, and scooter usages on sidewalks were added using material from By-Law 34-2002 which is to be repealed pending approval. Additionally, a new schedule has been created for the locations referenced for the above which will also match the three hour parking limits locations.

Crossing guard locations have been removed from the by-law as the *Highway Traffic Act* does not require these locations to be identified by by-law. Also, should crossing guard locations change, no amendments will be necessary.

All references to trails have been removed from the by-law as Public Works is currently preparing a Trails Regulations By-law. After discussions with the Town's insurer, and *Occupier Liability Act* considerations, it has been determined that a standalone by-law will lower the service level thus limiting the Town's exposure to future personal injury claims within the trail network. This process will include new signage and classify the trail network as a recreational trail system.

Section 2.0 – Parking

Parking in Town has undergone an extensive review, resulting in a complete rewrite. On-street no parking areas were also reviewed for accuracy, some revisions are due to resident complaints or surrounding use changes for example, school closures. Staff have worked to review all on-street, municipal lot and facility lot to develop a parking permit system that will suit current needs and address ongoing issues. If accepted by Council, staff will work to finalize backend logistical requirements of the permitting system, involving registration of vehicles, development of fees and indemnification agreements with overnight users.

On-Street Parking

Staff are proposing on-street overnight parking is permitted between May 1 and October 31 with the exception of the downtown core and existing 'no parking' areas; the change intends to accommodate the concerns of some business owners and the displacement of vehicles during short term construction activities. Under the current by-law in such instances a permit from the Town needs to be acquired to park on the street. Section 3.1 lists all requirements for general on-street parking. Highlights include, a 72-hour time limit and vehicles will need to be in operable condition.

"Heavy Vehicle" parking is separate from "Vehicle" parking. As a follow-up, the SPC requested that staff collect further information on the possibility of banning heavy truck parking in the downtown core. A survey of the BIA membership was completed. The results of the survey can be considered mixed. From staff's perspective, a truck parking ban in the core would have the benefit of protecting municipal infrastructure, and prevent unsafe traffic conditions when trucks occupy multiple parking spaces and affect sightlines. The Tim Hortons entrance onto Queen Street is a prime example of where this unsafe condition occurs frequently.

To remain consistent with the SPC's direction to ensure that traffic calming measures result in "an overall improvement in the safe use of Town roadways by all vehicles" staff broadened the consideration of a heavy truck parking ban to all town streets. It's staff's opinion that this would result in the safest possible outcome. Accordingly, the by-law restricts heavy vehicle on-street parking except when involved in delivery or construction activities. Further details are in Section 3.3 of the proposed by-law. Winter maintenance on-street parking restriction between November 1 and April 30th for all municipal roads remains.

Municipal Parking Lots

Municipal parking lots will be referenced as 'Public Parking Lots' and all such lots have been identified. This section is the most complicated change in the proposed by-law. This is due to the complicated web of long standing verbal agreements, written agreements and operation of public parking lots for years with little oversight or enforcement. As most public parking lots are located in the downtown area, and the Ontario Building Code allows for the creation of secondary unit suites, there is the anticipation that more residents will require overnight parking. Having a Designated Parking System in these lots will help prepare the Town for such needs and will hopefully reduce the strain on overnight parking in public lots that inhibits maintenance, snow removal etc.

Public Parking Lots have been listed in Schedule 13 of the by-law and Attachment 3 of this report. Staff reviewed current practices and have developed a permitting method that allows the current practices to continue with a new structure for ongoing management of the lots. A flow diagram of this process is included in Attachment 2 of this report.

Overnight parking will be allowed in municipal parking lots for up to 50% of lot capacity. See Attachment 3 - Municipal Parking Lot Space Inventory. If residents wish to utilize the lots for overnight parking they may purchase an annual “Designated Parking Permit”. A cost will be associated with the permit to help offset management, maintenance and enforcement costs associated with the parking lot. Building owners who have existing parking agreements for specific lots will be grandfathered into the permit system at no cost. However, owners and residents will still need to apply for annual parking permits, and comply with the requirements to get one, so that the Town can retain an updated list of users to help communication processes with users when maintenance is required.

The Town will dedicate the remaining 50% of the lot capacity for daily users like downtown merchant staff and patrons. However, the small lot at Water St. N will be a permit only parking lot since its parking configuration is considered ‘existing non-conforming’ in relation to design guidelines. This is a legacy problem with no foreseeable solution. Staff are recommending current users of the parking lot comply with the requirements of obtaining an annual parking permit.

Requirements to obtain a long-term parking permit will involve a letter from the landlord stating that supplement parking is required, confirmation that the vehicle is operable and executing an agreement with the Town for identification purposes to assist in risk mitigation. See Attachment 3 - Parking Permit Workflow Diagram.

Municipal parking lots are not to be confused with ‘Municipal Facility Parking Lots’ which include the Pyramid Recreation Centre, Municipal Operations Centre, and the St. Marys Museum’s parking facilities.

Municipal Facility Parking Lots

The proposed by-law classifies “Municipal Facility Parking Lots” as lots located at facilities with large parking areas such as the Pyramid Recreation Centre, Municipal Operations Centre, and the St. Marys Museum. Parking located on Water St. South near the Lind Sportplex and Tennis courts have been included as public parking lots.

While reviewing parking concerns, staff also examined the current uses of large municipal facility lots. In particular, the Pyramid Recreation Centre (PRC) is often used for vehicle and heavy vehicle overnight parking. PRC staff indicated that they receive complaints from nearby residents in regards to heavy trucks parking at the PRC. The primary complaint is noise when the trucks are turned on and depart the parking area at early hours of the morning.

This concern and the historic use of the PRC for heavy truck parking was cause for further internal review. Internal conversations at the staff level have identified the PRC as a multi-use space, where many users attend of all ages. The parking lot at the PRC, and at the Solis Park soccer fields are in close proximity to a school, and a playground that is used on weekends. The questions staff reviewed is whether or not the municipality is obliged to provide overnight parking for trucks as a core service, and if the PRC and MOC are appropriate locations. During the review process, staff did consult with other municipalities and found that many do not have restrictions for overnight parking, weight and parking time.

As presently drafted, staff recommend restricting overnight parking at Municipal Facility Parking lots to mitigate future injury claims. A possible alternate location for overnight truck parking is the Water Street South public parking lot near the rear entrance of the Baseball Hall of fame. The permitting process for this lot could be extended to heavy trucks. However, this would be a service level increase as no winter maintenance currently is performed.

If Council chooses to offer overnight parking to residents, staff recommends that overnight truck parking be restricted to the PRC lot only, and be subject to a permitting system. There is insufficient space at the MOC for parking, and there is a risk of impacting municipal operations. Applying the parking permitting system would provide structure and mitigate some risk for the municipality.

Section 3.0 – Boulevard Maintenance

As mentioned above, the MMS has undergone a recent revision and now includes standards for boulevards which include the area 45cm from the adjacent curb edge. The new legislative provisions have been added to the by-law.

The new provisions in Minimum Maintenance Standards for Municipal Highways O. Reg. 366/18: (MMS) - Section 16.2 are as follows:

(3) For greater certainty, the area adjacent to a sidewalk begins at the outer edges of a sidewalk and ends at the lesser of the limit of the highway, the back edge of a curb if there is a curb and a maximum of 45 cm.

(4) The area adjacent to a sidewalk is deemed to be in a state of repair in respect of any encroachment present unless the encroachment is determined by a municipality to be highly unusual given its character and location or to constitute a significant hazard to pedestrians.

Given the regulation change, which assigns inspection and evaluation of encroachment standards to the municipality, staff are recommending specific guidelines for the management of boulevards. Most municipalities in Ontario have a boulevard maintenance guidelines; the Town currently does not. The proposed boulevard maintenance guidelines follow similar guidelines in other municipalities while also allowing for flexible regulations. Flexibility is necessary as boulevards throughout Town have varying elevations, conditions and landscaping.

SUMMARY

Staff have been actively working for over a year to audit, confirm and incorporate the required changes into a new Traffic, Parking and Boulevard Maintenance By-law. Existing related by-laws have been included in the Traffic, Parking and Boulevard Maintenance By-law for improved functionality and enforcement. This methodology of consolidating into a single by-law has proven invaluable with water, waste water and storm by-laws which were consolidated in 2014. Corporate Services and Public Works staff worked closely together to ensure the by-law matches observed traffic, parking and boulevard conditions in St. Marys while being enforceable from an administrative perspective.

Staff is recommending that the By-law be approved at the June 12, 2018 regular Council meeting and that the By-law come into force on November 1, 2018. The purpose of the delayed enactment is to permit time for signage installations, educational campaign, and printing of traffic infraction books. A full media campaign involving social and traditional media outlets will be undertaken and will be supported by Corporate Communications. Permitting of existing users of municipal parking lots for overnight parking will start November 1, and will include information flyers placed on vehicles informing of the requirements to use the lots and the process to obtain a parking permit. This rollout will align with the policing transition nicely.

Since August of 2015, Council has paid a special focus to traffic concerns related to truck traffic in St. Marys. Council's goals have been to implement measures that improve traffic safety for all types of traffic in the town, and to balance the needs of residents and the Town's industrial and commercial sector. An ad-hoc committee of Council was struck, and the committee has met on a regular basis with the CCAHTT. To date, a number of recommendations from the CCAHTT have been advanced for the SPC's consideration. The chart below provides a summary of the Initiatives that have been supported and not supported so far:

Initiatives Supported	Initiatives Not Supported
<ul style="list-style-type: none"> Purchase and deployment of additional radar signs to determine areas with speeding concerns. Additional enforcement requested from OPP for areas with identified speeding concerns. 	<ul style="list-style-type: none"> Load reductions on the Victoria Bridge and Church Street Bridge (not supported by engineering analysis).

<ul style="list-style-type: none"> • Reduced speed zone on James Street at DCVI during school hours. • Extended community safety zone on James Street. • Annual traffic counts of the downtown core, focusing on trucks. • Heavy truck parking banned in the downtown core (broadened to include Municipal Facility Lots in proposed by-law) 	<ul style="list-style-type: none"> • Reduced speed limits on Queen and James Streets to 40 km/h (not supported by engineering analysis). • External to external truck traffic bans. • Red light cameras for the down town core, and photo radar on Queen and James Streets. • Pedestrian crossing light on James Street at DCVI (Ontario Traffic Manual warrant not met). • Pedestrian crossing light on Queen Street at the hospital (Ontario traffic manual warrant not met). • Ban of truck turns from Water onto Queen Street and Queen onto Water Street.
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FINANCIAL IMPLICATIONS

Traffic and No Parking area signage:

Changes to existing signage are required after passing the new by-law. Sign relocations, additional and or replacements for new verbiage are estimated at \$7,500 to \$10,000. Staff are recommending signage modifications to be funded from roads reserve funds.

Municipal Parking Lot Permit:

Staff have performed an inventory of existing Public Parking lots and provided a capacity calculation to allow for up to 50% to be utilized by downtown residencies. Any fees collected should be used to offset maintenance, management and enforcement costs of the parking facilities. A fee of \$60 per long-term (annual) parking permit is recommended, at maximum capacity of 50% projected revenue is \$3,300. Acceptable use signage for existing municipal lots is recommend, approximate cost is approximately. \$2,500 to \$4,000.

Therefore, total expect costs for implementation of the new by-law range from \$10,000 to \$15,000, which could be funded from the roads reserve.

STRATEGIC PLAN

☒ This initiative is supported by the following priorities, outcomes, and tactics in the Plan.

- Pillar #3 & 5 – Balanced Growth & Economic Development, Business attraction, retention & expansion program:
 - Outcome: A key to growth is to ensure a vibrant and sustainable commercial sector. Economic development needs to rest on three pillars, beyond the traditional business attraction. It should also focus attention and resources to ensure both business retention and expansion.
 - Tactic(s): Encourage existing businesses to optimize on their existing buildings / spaces

Pillar #6: Attainable & mixed-use housing:

- Short Term Initiatives: Identify in the Official Plan development areas that would be key growth areas among targeted demographics. Encourage businesses to convert second-storey spaces into rentals. Investigate the prospect of medium density housing in the

downtown and surrounding areas (infill and new development spaces: “building in and building up”).

OTHERS CONSULTED

Trisha McKibbin, Director of Corporate Services
Richard Anderson, Director of Emergency Services / Fire Chief
Stephanie Ische, Director of Community Services
Todd Thibodeau, Public Works Supervisor
Jeff Wolfe, Asset Management/Engineering Specialist, Public Works
Jenna McCartney, Deputy Clerk
Minister of the Attorney General’s office

ATTACHMENTS

Attachment 1 - Traffic By-Law Revision Matrix
Attachment 2 - Parking Permit Workflow Diagram
Attachment 3 – Municipal Parking Lot Space Inventory


REVIEWED BY

Recommended by the Department



Jed Kelly
Director of Public Works

Recommended by the CAO



Brent Kittmer
CAO / Clerk

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<i>Accessible Parking Permit</i>	Removal	Not required in new by-law as the references have been removed.	No
	<i>Commercial Motor Vehicle</i>	Removal	Not required in new by-law as the references have been removed.	No
	<i>Curb Line</i>	Removal	Not required in new by-law as the reference has been removed	No
	<i>Highway Traffic Act</i>	Removal	Definitions of legislation have been removed.	No
	<i>Horse Drawn Carriage</i>	Removal	Not required in new by-law as the reference has been removed.	No
	<i>Multi-Use Trail</i>	Removal	All references to Multi-Use trails have been removed. A Multi-Use Trail policy and by-law will be presented to Council at a later date.	No
	<i>On-Road Allowance Parking Permit</i>	Removal	Current permit system will no longer be in use.	No
	<i>Parade</i>	Removal	Not required in new by-law as the references have been removed.	No
	<i>Peace Officer</i>	Removal	Combined term for Police and Municipal Law Enforcement. The term is no longer used as the positions are directly referenced.	No
	<i>Pedestrian</i>	Removal	All reference to pedestrian has been removed.	No
	<i>Provincial Offenses Act</i>	Removal	Definitions of legislation have been removed.	No
	<i>Traffic Signal</i>	Removal	Traffic Control Device encompasses this term.	No
	<i>Unauthorized Motor Vehicle</i>	Removal	Not required in new by-law as the references have been removed.	No
	<i>Designated Parking Permit:</i> means a permit issued by the Town of St. Marys in accordance with this by-law for the designation of a parking space in a Public Parking Lot for the exclusive use of a Motor Vehicle approved by the Town.	Addition	Creation of new parking system in Public Parking Lots, whereby users who wish to use the Public Parking Lots on a long term basis require a Designated Parking Permit issued by the Town. Intended to clean up current parking problems in the public lots.	No
	<i>Director:</i> means the Director of Public Works for the Town or any successor position, or his or her appointed designate.	Revision	Previously Director of Operations, condensed Director so to prevent confusion if there are future department reorganization or name changes.	No

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<i>Fire Route</i> : means an access route required for use by the Fire Department provided by means of a Private Roadway or yard.	Addition	By-Law 4 of 15 amended By-Law 6 of 2014 to include Fire Routes. As such Fire Routes have been included in this by-law.	Private if Req.
	<i>Heavy Vehicle</i> : the following vehicles are not considered as such: <ul style="list-style-type: none"> • Ambulances, police or fire department vehicles; • Emergency motor vehicles; • Motor vehicles owned or operated by the Town; Motor vehicles of the Ministry of Transportation of the Province of Ontario	Revision	Narrow the definition of a heavy vehicle to allow vehicles that may be required to respond to emergencies or other events with limited restrictions.	No
	<i>Inoperative Motor Vehicle</i> : means any Motor Vehicle that is dismantled, broken or incomplete, decayed, or dilapidated by the reason missing or damaged part(s), tire(s), engine drive train or body components or window(s) or, the removal or damage of other parts of equipment necessary for the Motor Vehicle's operation.	Addition	Identification of motor vehicles which are in a state of disrepair or unsightly These vehicles will be unauthorized to park on the Highway or in Public Parking Lots.	Yes – Parking Lot terms of usage
	<i>Private Roadway</i> : means a Roadway other than municipal or government property, and includes privately owned roads, driveways, and laneways.	Addition	Section 3.7 of the by-law makes reference to private roadways in regards to Fire Routes.	No
	<i>Public Parking Lot</i> : means an off-street parking lot or other parking facility, owned by the municipality and signed accordingly, to which the public has access whether on payment of a fee or otherwise.	Addition	Public Parking Lots are not referenced in previous by-law.	Yes – Parking Lot terms of usage.

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
Section 2.2 <i>Use of Sidewalks</i>	Consolidation of Section 8 in 04-2016, currently as follows: (1) No person shall use any Sidewalk for any purpose other than pedestrian Traffic, except as specifically permitted in this or any other by-law. (2) A person may use the Sidewalk for the purpose of walking a bicycle or Motor Assisted Bicycle (3) Within the downtown area, identified in Schedule 11, no person shall ride a bicycle on the Sidewalk (4) Persons under the age of 14 are permitted to ride a bicycle or Motor Assisted Bicycle upon a sidewalk, with the exception of the area within the area identified on Schedule 11. (5) No person shall at any time use or operate skateboards, roller skates, in-line skates or other similar devices on municipal Sidewalks in the area identified on Schedule 11.	Revision	Section 8 in 06-2014 was condensed into more concise verbiage to ease the readability of the "Use of Sidewalks".	Potently if required
Section 2.7 <i>Operation of Vehicles</i>	7.1 Removal of provisions regarding instances for not driving in right lane	Removal	Section 149 (1) of the Highway Traffic Act accounts for such driving provisions, therefore no required in Town by law.	No
	7.9 No person while driving a Vehicle shall allow such Vehicle to be driven so that it intersects a funeral	Removal	The Highway Traffic Act does not accord special privileges to funeral processions, unless they are directed by a Police Officer.	No

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
(Previously Section 7)	procession in motion except under the direction of a Police Officer;		Funeral processions without police escort are to follow all usual rules of the road, including stopping at red lights, stop signs, crosswalks etc..	
	7.10 No person operating a Vehicle involved in a funeral procession shall fail to drive the Vehicle as near to the right-hand edge of the Roadway as practicable and safe.			No
	7.12 No horse-drawn Vehicle shall be drive at a run or gallop.	Removal	Reduced presence of a horse-drawn Vehicles, and the immeasurability of run or gallop.	No
	7.13 No person shall drive, or attempt to drive on or over, or tamper with, or walk on any newly painted line or series of lines, on any Roadway or Shoulder, when the presence of such is indicated by signs, markers or otherwise.	Removal	Line painting is now completed using fast dry paint. This line is no longer applicable.	No
	7.16 No person shall cause a vehicle or a combination of vehicles to move upon a highway with the gross vehicle weight in excess or the posted maximum weight for the portion of highway to be travelled on.	Removal	Section 2.14 Reduced Load Limit speaks to this specifically.	No
	2.7(9) No person shall drive an all-terrain Vehicle on public roads and road allowances unless they are a Town all-terrain Vehicle, all others shall only be used on private property at the consent of the property owner.	Revision	Previously Section 8.7 in By-law 6 of 2014, revised to allow for Town owned all-terrain vehicles and remove reference to Multi-Use Trails	No
Section 2.8 Motorized Snow Vehicle	No person shall operate a motorized snow vehicle: <ul style="list-style-type: none"> - Along the sidewalks or Boulevards - After 10:00 p.m. and before 7:00 a.m. 	Addition	Repeal By-law 6 of 1995, to regulate the driving of motorized snow vehicles in Town. Key elements of By-law 6 of 1995 have been consolidated into this by-law.	No – Public Education

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	- Within the boundaries of the St. Marys Cemetery			
<i>Section 2.11 Heavy Vehicles</i>	2.11 (3) Engine brakes are not permitted in the Town, except to avoid or reduce the impact of a collision or in the case of such other emergency.	Addition	Added to reinforce the non-use of engine brakes in Town, applicable to both Vehicles and Heavy Vehicles.	Yes
	10.1 In this section, "through heavy traffic" means the use of a Highway of a Vehicle, object or contrivance for moving loads, which, including the load, has a Gross Weight in excess of three tonnes and is in use for the purpose other than the making of a delivery or a pickup of a load or part thereof at premises abutting the designated Highway, but shall not include Motor Vehicles designated and used for carrying passengers or those of the Fire Department of the Town of St. Marys or road maintenance Vehicles.	Removal	Section 10.1 of By-Law 6 of 2014.	No
<i>Section 3.1 Parking Regulations and Restrictions</i>	No person shall Park a Vehicle in any of the following places during the specified: <ul style="list-style-type: none"> 3.1.b) at any time between a Sidewalk and the adjacent Roadway where the shortest distance between the Sidewalk and the Roadway is less than 5.5 metres; 3.1.c) within an Intersection at any time; 3.1.f) on a Crosswalk at any time; 	Additions & Revisions	<p>Parking issues that have been identified since the passage of By-Law 6 of 2014 have been added to Section 3.1 Parking Regulations and Restrictions.</p> <p>Section 3.1.0 speaks to what was previously "On-Road Allowance Parking Permit" parking. All parking on Town road allowances had been prohibited unless an "On-Road Allowance Parking Permit" has been issued by the Town. Proposed by-law parking has allowed on street parking from the period of May 1 to October 31 to allow on-road allowance parking without parking permits in areas that have not been designated as no parking or no stopping in this by-law.</p>	Yes – Town Speed Entry signs

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<ul style="list-style-type: none"> 3.1.m) on a Highway in a manner which obstructs Traffic at any time 3.1.n) in a position which will prevent the convenient removal of any other Vehicle previously parked at any time 3.1.o) on a Highway from 2:00 a.m. and 6:00 a.m. November 1 until April 30 3.1.p) In a municipal facility parking lot between the hours of 2:00 a.m. and 5:00 a.m. without a Designated Parking Permit. 3.1.r) on a Highway when a trailer is attached to a Motor Vehicle between 9:00 pm and 6:00 am 5) No Inoperative Vehicle shall be parked on Town Highways. 			
Section 3.1 <i>Parking Regulations and Restrictions</i>	<p>Section 12.4 Parking Regulations and Restrictions of By-Law 6 of 2014:</p> <ul style="list-style-type: none"> No driver or owner of a Motor Vehicle shall cause their vehicle to be parked upon any Highway or street within the Town between the hours of 2:00 a.m. and 6:00 a.m. of the same day..." 	Removal	<p>Allowing on-street parking in areas where no parking areas have not be designated from May until October 31, 24 hours a day.</p> <p>Therefore, no longer restricting parking between 2:00 a.m. and 6:00 a.m. in areas that do not have "No Parking" restrictions. Please see Schedules 4, Schedule 10 and Schedule 14.</p> <p>This has been eliminated to better accommodate residents, visitors and some seasonal businesses.</p> <p>Vehicles would only be allowed to occupy on street for 72 hrs.</p> <p>This provision has also proven to be difficult to enforce.</p>	Yes – Town Entry Speed Signage

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
3.2 <i>Parking Restrictions on Specified Highways</i>	<p>(3) On-street parking areas with a three (3) hour parking limit are set out in Schedule 11 hereto</p> <p>(4) No person shall Park a Vehicle for longer than three hours in designated areas</p> <p>(5) No person shall Park a Vehicle in the downtown boundaries as identified in Schedule 4 between 2:00 am and 6:00am, year round.</p>	Additions	Three hour parking restrictions included in original by-law in Schedule 6, but no written provisions included. The schedule remains the same. Written provisions have been added for clarification.	Yes – Parking Lot Acceptable Uses
3.3 <i>Parking Restriction for Heavy Vehicles</i>	(1) No person shall Park a Heavy Vehicle in a Public Parking Lot.	Addition	No provisions in By-Law 6 of 2014 regarding Public Parking Lots.	Yes – Parking Lot Acceptable Uses
	(1) No Person shall Park a Heavy Vehicle in a municipal facility parking lot other than for the purpose of delivery of goods.	Addition	Heavy Vehicles prohibited to reserve space for residents and downtown tourism while also limiting the number of heavy vehicles in the downtown area.	Yes – Parking Lot Acceptable Uses
	(2) No person shall Park a Heavy Vehicle on a Highway except for the purpose of delivery of goods or construction activities within the areas set out on Schedule 4.	Addition	Heavy Vehicles prohibited to reserve space for residents/visitors and employees.	Yes – Parking Lot Acceptable Uses
3.4 <i>Accessible Parking Space</i>	<p>An identifying marker shall be displayed on,</p> <p>a) An inner surface of the windshield, as close as practicable to the lower left-hand corner and as close as practicable to the left-hand side of the Motor Vehicle, or</p>	Addition	Clarification of permit placement.	No

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	b) The outer surface of the sun visor on the left-hand side of the Motor Vehicle so as to be visible through the windshield from the exterior of the car when the sun visor is in a lowered position			
3.5 Public Parking Lot	<ol style="list-style-type: none"> 1) Public Parking Lots are set out in Schedule 13 hereto 2) No person shall permit a Vehicle to be parked in a Public Parking Lot between 2:00 a.m. and 6:00 a.m. unless displaying a Designated Parking Permit. 3) No person shall permit a vehicle to be parked in a Public Parking Lot for more than eight(8) hours at any time unless displaying a Designated Parking Permit 4) No person shall permit a Heavy Vehicle to be parked in a Public Parking Lot 5) No person shall park a Motor Vehicle in a Public Parking Lot for the purpose of repairs, oiling and greasing. 6) No person shall park an Inoperative Motor Vehicle in a Public Parking Lot. 7) No person shall park in the area identified in Schedule 17 unless displaying a valid Designated Parking Permit 	Addition	<p>Municipal parking lots will be referenced as "Public Parking Lots". All such lots have been identified in Schedule 13.</p> <p>Establishing more regulations within Public Parking Lots to reduce issues that have been observed, for example vehicles remaining for long periods of time, vehicles placed in inconvenient areas that prevent routine maintenance etc.</p> <p>Parking without a "Designated Parking Permit" has been extended to an eight hour limit to match the length of a typical work day within the downtown area. Therefore, encouraging the use of parking lots by merchants, their employees, and visitors to downtown shopping areas.</p> <p>This sectional also authorizes Town Staff to monitor and enforce</p>	Yes – Parking Lot Acceptable Uses

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
3.6 <i>Designated Parking Permit</i>	<p>(1) Designated Parking Permits for the parking of Motor Vehicles in downtown Parking Lots are hereby authorized and assigned by the Clerk.</p> <p>(a) Long-term Designated Parking Permits shall be for a maximum term of one year, from November 1 until October 31 of the next year. A renewal Designated Parking Permit may be applied for from the Town in advance of the expiry of the permit.</p> <p>(b) Short-term Designated Parking Permits shall be for a maximum term of seven (7) days.</p> <p>(2) The allocation of the Designated Parking Permit shall be based on need and capacity.</p> <p>(3) The Designated Parking Permit shall contain the permit number, the permit location, the make of the approved Motor Vehicle, year of the Vehicle, License plate number, and permit expiry date.</p> <p>(4) No person shall display an expired Designated Parking Permit.</p>	Addition	<p>No provisions were made regarding Public Parking Lots in By-Law 6 of 2014. The proposed "Designated Parking Permit" system intends to better organize long-term parking in downtown parking lots. The Town will be able to monitor overnight parking and better coordinate maintenance activities. This is required after observing numerous issues within the Parking Lots and to create a formalized and consistent process for all vehicles parking long term in the Public Parking Lots.</p> <p>The availability of Designate Parking Permits for downtown residents aligns with Strategic Pillar #6: Encourage businesses to convert second-storey spaces into rentals. The accessibility of designated parking areas for downtown residents can help sell residential space.</p>	Yes – Parking Lot Acceptable Uses

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<p>(5) No person shall use the Designated Parking Permit for any location other than the location approved by the Town and listed on the permit.</p> <p>(6) The Director may require that the Designated Parking Permit holder move their Motor Vehicle at any time.</p> <p>(7) The Town may revoke any permit issued at any time.</p>			
3.7 Fire Routes	<p>(1) The Town may require a Private Roadway to be established as a Fire Route.</p> <p>(2) Where a Fire Route has been designated under this by-law, the Town may issue an order requiring the property owner;</p> <ul style="list-style-type: none"> - Establish the Fire Route in accordance with the provisions of this by-law; and - Erect maintain an Authorized Sign at locations on the Fire Route <p>(3) Where a property owner fails to erect or to maintain an Authorized sign under this by-law, the Fire Chief or designate may enter on the property owner's land and may erect an Authorized Sign at the expense of the property owner and the costs incurred as a result thereof may be added to the tax roll</p>	Addition	<p>By Law 6 of 2014 was amended with By-Law 4 of 15.</p> <p>By-Law 4 of 15 provided for the inclusion of Fire Routes in the traffic by-law.</p> <p>Therefore, Fire Routes were added to this version as well.</p>	No

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<p>and collected by the Town in the same manner as municipal taxes.</p> <p>(4) Where a Fire Route has been designated, constructed and signed in accordance with this by-law, if the Fire Chief deems it to be in the interest of the life safety requirements under the <i>Fire Code</i>, the Fire Chief may issue an order for any change to the designated Fire Route deemed necessary and the property owner shall carry out whatever construction or changes to an unauthorized sign as may be necessary.</p> <p>(5) No Person shall Park or Stand a vehicle along, in, or over, any properly signed Fire Route designated in Schedule 14.</p> <p>(6) No person shall move, remove or interfere with a Fire Route sign along a Fire Route or obstruct a view of the Fire Route sign along a Fire Route.</p> <p>(7) No person shall move erect or maintain along a Fire Route any sign which may conflict or be confused with a Fire Route sign.</p> <p>(8) No person shall erect or maintain a facsimile of a Fire</p>			

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	Route sign along any Private Roadway, whether a Fire Route or not.			
3.10 School Bus Loading Zones	<p>(1) School bus loading zone areas are set out in Schedule 16 hereto.</p> <p>(2) No person shall Park a school bus or a school vehicle or any part of a school bus or a school vehicle except entirely in a School Bus Loading Zone that has been established in this by-law</p> <p>(3) No person shall Park a Vehicle other than a school bus in a School Bus Loading Zone</p>	Addition	<p>School Bus Loading Zones referenced in Schedule 11 of By-law 6 of 2014 without and verbiage.</p> <p>Clarification of School Bus Zones and their permitted uses have been identified.</p>	Yes – Additional Start and Stop Point signage required
4.1 Boulevard Maintenance – Property Owner Prohibitions	<p>(1) No person shall permit any garbage, debris or discarded materials to accumulate on the Boulevard.</p> <p>(2) No person shall place any encroachment within 45 centimeters of the edge of the Sidewalk, such as sporting equipment, rocks, gravel, landscape features, ties, rails, asphalt, bricks, concrete structures or figurines</p>	Addition	<p>Recent revisions to the provincial maintenance standards include encroachments up 45cm adjacent to sidewalk edge. Municipality has the ability to determine if encroachment presents a hazard.</p> <p>Created new section devoted to boulevard maintenance, to clearly delineate acceptable and unacceptable uses of the boulevards. This boulevard maintenance requirements are already present in many municipalities.</p> <p>There have been increased conversation of what is allowed and what is not allowed in the boulevards. This section clarifies that, especially with respect to the placement of objects in boulevards. Many of these objects are damaged during the winter season due to winter maintenance activities, and residents insist they be replaced by the Town.</p>	No – Public Education

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SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
4.2 Property Owner Obligations	<p>In regards to the Boulevard immediately fronting an owner's property</p> <ul style="list-style-type: none"> No property owner shall permit grass on the Boulevard to grow more than 10 centimeters within 45 centimeters adjacent to sidewalk edge; No property owner shall permit brush or noxious weeds to grow within the boulevard; Prune and trim hedges, trees and shrubs in the boulevard, except for those planted by the Town, as part of a development requirement, so that a minimum vertical clearance of 3.0 metres above the sidewalk and 4.5 metres above the Roadway, is maintained and there is no encroachment on: <ul style="list-style-type: none"> A Sidewalk; or A Roadway, where there is no Sidewalk Ensure that sight lines to intersections, driveways, Sidewalk, walkways, travel lanes, and visibility to all traffic control devices is not restricted by modifications to the boulevard which the 	Addition	Recent revisions to the provincial maintenance standards include encroachments up 45cm adjacent to sidewalk edge. Municipality has the ability to determine if encroachment presents a hazard.	No – Public Education

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<p>property owner may undertake;</p> <ul style="list-style-type: none"> • Maintain any shrubbery, landscaping, and flower beds on the boulevard below a maximum permitted height of 0.5 metres from the boulevard level; and maintain a 2 meter clearance for shrubbery, hedges and trees from any fire hydrant or fire hydrant valve; • A property owner may add flower beds, plant shrubbery, and ground cover in a boulevard provided such additions match existing grade of sidewalk edge with no more than 2 centimetres deviation of surface continuity and comply with the requirements above. • The obligation to maintain the boulevard as specified in Section 4.2(1) does not apply where in the opinion of the Director the property owner is unable to directly access the boulevard due to steep grades, walls, fences or other obstructions. <p>Order to Discontinue Activity</p> <p>(1) If the Director determines that this Boulevard</p>			

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<p>Maintenance portion of the by-law has been contravened, the Director may issue an Order to Discontinue Activity requiring the person contravening the by-law to immediately discontinue the contravention.</p> <p>(2) No person shall contravene an Order to Discontinue Activity.</p>			
<p><i>Section 4.3 Authority of the Director of Public Works</i></p>	<p>The Director may require an owner of real property to:</p> <ul style="list-style-type: none"> Remove any flower beds, plant shrubbery, and landscaping located in a boulevard in accordance with section 4.1(1), to facilitate work that the Town will have to undertake in the vicinity; Remove any addition to the boulevard undertaken by the property; Remove or trim any trees, shrubs, hedges or bushes growing or standing on property adjacent to a Highway, where in their opinion: <ul style="list-style-type: none"> The safety or convenience of the public so requires; 	<p>Addition</p>	<p>Gives the Director the authority to remove any items in violation Section 4.1 and Section 4.2, or assume the ownership of the items placed in the boulevards if deemed necessary.</p> <p>Recent revisions to the provincial maintenance standards include encroachments up 45cm adjacent to sidewalk edge. Municipality has the ability to determine if encroachment presents a hazard.</p>	<p>No – Public Education</p>

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SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<ul style="list-style-type: none"> Where any such trees, shrubs, hedges or bushes become encroaching to the Roadway or Sidewalk. The Town has the authority to assume ownership of any tree, hedge or shrubbery in a boulevard for the purpose of being the sole maintainer of such tree, hedge or shrubbery. 			
<i>Section 4.4 Restoration of Boulevard After Construction</i>	(1) Upon completion of any work by the Town, which required the removed of any flower beds, plant shrubbery and landscaping, the property owner may replace such vegetation with the permission of the Director.		Ensures properties may be restored after construction projects undertaken by the Town.	No
<i>Section 8.0 Enforcement</i>	8.1 This by-law may be enforced by a Police Officer or a Municipal Law Enforcement Officer appointed by Council	Addition	Condensed Section 3.1 of original by-law as Municipal Law Enforcement Officers have been delegated more power to enforce.	No
	<p>3.1 A Police Officer may enforce all provisions of this By-Law.</p> <p>3.2 A Municipal Law Enforcement Officer may enforce all provisions of</p>	Removal	Condensed in 8.1 of new by-law.	No

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	<p>this By-Law, except those pertaining to a moving vehicle.</p> <p>3.3 The Director of Operations or designate shall, in cooperation with the Ontario Provincial Police, be responsible for establishing, implementing and maintaining a proper and adequate administrative enforcement program to monitor and regulate the provisions of this by-law.</p>			
<i>Schedule 1: Stop Signs</i>	Brock St. & Elgin St. (Northbound and southbound on Brock St.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Church St. & Jones St. (Westbound on Jones St.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Glass St. & Emily St. (Northbound on Emily St.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	James St. S 230 meters southerly (Eastbound from Skatepark)	Addition	Public Works audit identified a sign at this location that is included in previous by-laws.	No
	James St. N and Edison St. (Westbound on Edison St.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	James St. & Enterprise Dr. (Eastbound on Enterprise Dr.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	James St. & South Service Rd. (Eastbound on South Service Road)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Lindsay Atkinson Dr. & Maxweel St. (Northbound on Lindsay Atkinson Dr.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Millson Crescent (both legs) & Glass St. (Southbound on Millson Crescent)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Park Lane & Ontario St. (Westbound on Park Lane)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Park Lane & Thomas St. (Eastbound on Park Lane)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Peel St. & Egan Avenue (Northbound on Peel)	Addition	Altered from yield sign to stop sign due to safety concerns.	Yes

ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	Spring St. & Waterloo St. (Westbound on Waterloo)	Addition	Open road allowance, local traffic safety concerns. Stop Sign installed to mitigate those concerns.	Yes
	Church St. & St. Maria St. (Westbound on St. Maria St.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Maxwell St. & Trillium Crescent (Southbound on Trillium Crescent)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Meadowridge Dr. & Meadowridge Crt. (Southbound on Meadowridge Crt.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Meadowridge Dr. & Highland Crt. (Southbound on Highland Crt.)	Addition	Public Works audit identified a sign at this location that is no included in previous by-laws.	No
	Parkhaven Crescent & Southvale Rd. (Northbound on both legs)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	St. Maria St. & Diamondridge Crt. (Southbound on Diamondridge Crt.)	Addition	New subdivision street requiring traffic control at intersections.	No
	Southvale Rd. & Homefield Crt. (Eastbound on Homefield Crt.)	Addition	New subdivision street requiring traffic control at intersections.	No
	Southvale Rd. & Birtchcreek Cres. (Westbound on both legs)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Tracy St. & St. Maria St. (Eastbound on St. Maria)	Addition	New subdivision street requiring traffic control at intersections.	No
	Widder St. E & Albert St. (Northbound off Albert St.)	Addition	Public Works audit identified a sign at this location that is not included in previous by-laws.	No
	Brock St. & Elgin St. (Northbound & Southbound on Brock)	Removal	The yield sign has been removed and a stop sign installed at this location due to safety concerns. This change has been noted in the Schedule I revisions.	No
	Church St. & Jones St. (Westbound on Jones)	Removal	The yield sign has been removed and a stop sign installed at this location due to safety concerns. This change has been noted in the Schedule I revisions.	No
	Ontario St. & Park Lane (Westbound on Park Lane)	Removal	The yield sign to be removed and a stop sign installed at this location as per 121 Ontario St.'s Site Plan. This change has been reflected in the Schedule 1 revisions.	Yes
	Thomas St. & Park Lane (Eastbound on Park Lane)	Removal	The yield sign to be removed a stop sign installed at this location as per 121 Ontario St.'s Site Plan. This change has been reflected in the Schedule 1 revisions.	Yes

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SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
<i>Section 2: Yield Signs</i>	Peel St. & Egan Ave (Northbound on Peel St.)	Removal	Changed to a stop due to safety concerns.	No
	Emily St. (Southbound at Overpass)	Addition	Development & Underpass sidewalk.	No
	Emily St. Northbound at Glass St.	Addition	Development & Underpass sidewalk.	No
<i>Schedule 3: Electronic Traffic Control Devices</i>	Electronic Traffic Warning Lights RE: Dangerous Area <ul style="list-style-type: none"> Yellow caution light – Queen Street East – at James Street South, facing east and west Red flashing light – James Street South – at Queen Street East, facing south 	Revision	Consolidation of By-Law 06 of 2014 Schedules into one. Electronic Traffic Warning Lights added to Electronic Traffic Control Signal Lights and Electronic Pedestrian Signal Cross Overs.	No
<i>Schedule 4: Downtown & Prohibited U-Turn & Prohibited Heavy Vehicle Parking</i>	Queen St. (Between James St. and Thomas St.) Water St. (Between Parkview Dr. & Elgin St.) Wellington St. (Between Parkview Dr. and Elgin St.) Church St. (Between Station St. and Elizabeth St.)	Revision	Better define the area of Downtown, where U-Turns are prohibition and the prohibition Heavy Vehicle Parking.	Yes
<i>Schedule 5: No Stopping Area</i>	Park St. (Both sides from Water St. South to Thomas St.)	Addition	No stopping to ease the flow of traffic using Park St. bridge.	Yes
	Park St. (Both sides from Church St. South to Peel St. South)	Addition	To eliminate traffic congestion in by Cadzow Park.	Yes
	Elizabeth St. (Southside between Church and Peel St. from 8:00 a.m. to 4:00 p.m., Monday to Friday inclusive, September to June, school buses excepted.	Removal	Removed as Central School has closed.	Yes

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SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	Wellington St. S (East side from Jones St. to a point 12m North)	Removal		Yes
<i>Schedule 6: One-Way Traffic</i>	One-way Traffic northbound only on east side of Stoneridge Boulevard median from Southvale Road to a point 190 metres south easterly	Addition	No provision in existing traffic By-Law, currently partially signed as one way	No
<i>Schedule 7: Reduced Speed Limit</i>	Speed limit along Emily Street from Glass Street to Water Street North shall be 40 km/hr;	Addition	Reduced speed due to road configuration and stopping distance requirements	Yes
	Speed limit within any park or playground including Veterans Circle (Milt Dunnell Field) shall be 20 km/hr.	Addition	Lower speed limits in parks for safety reasons.	Yes
	School Zone – Speed limit along James St. South at the northerly entrance/exit of the school to 150 metres north, and at the southerly entrance/exit of the school to 150 metres south shall be 40 km/h Monday to Friday, between 8:00 a.m. to 4:00 p.m., from September to June.	Addition	Observed safety issues in front the St. Marys District Vocational Secondary School. Intended to reduce safety risks.	Yes - Minor Location change
<i>Schedule 9: Heavy Vehicle Route</i>	Time Limitations: Wellington St. N between Station St. & Egan Avenue, except during the following time periods, Monday to Friday, 8:00 a.m. to 4:00 p.m. from September to June exclusive.	Removal	Time limitation enacted due to Dresden factory. The factory is no longer in use, therefore a time limitation is no longer required.	No
<i>Schedule 10: No Parking</i>	Emily St. (East & Westside for 40m within Emily St. sewage lift station frontage on Emily St.)	Addition	No Parking to ensure emergency access to sewage lift station.	Yes

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SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	Huron St. South (Westside from Queen St. to Maxwell St. & eastside from Queen St. to Sparling Crescent)	Addition	Added in By Law 38 of 15 to amend By Law 6 of 14.	No
	James St. North (Eastside & Westside from Widder St. to Northly Limits)	Addition	Added in By Law 38 of 15 to amend By Law 6 of 14. No parking extended as road is classified arterial that also intersects with trail and school crossings, and collector roads	Yes
	Maxwell St. (Northside of Maxwell St. from James St. S to Southvale Rd.)	Addition	Currently signed this way, required to maintain 2 lanes of access during school hours to Lindsay Ackitson	No
	Park St. (Southside & Northside from Thomas St. Elizabeth) – lengthened from Church	Addition	No parking extended from Church due to road configuration and sightline concerns of radius in proximity of Cadzow Park.	Yes
	Peel St. S (Eastside from Queen St. to 25m southerly)	Addition	Loading Zone for Salvation Army food bank, persons with mobility problems having trouble accessing parking via onsite parking lot stairs	Yes
	Rogers Ave. (North and South side Huron St. westerly to end at DCVI Parking lot, from 8:00 a.m. to 4:00 p.m., Monday to Friday, inclusive, September to June)	Addition	Increased parking on Rogers Avenue by St. Marys District Collegiate and Vocational Institute. Reports from residents of blocked driveways, missed garbage/recycling collection. EMS Access during bus loading times. Proposed No Parking to main lane access at all time.	Yes with time restriction
	St. George St. N (East side from Timms Ln. to Walking bridge for emergency operating authority access to Well #1) – expanded	Addition	No parking expanded to the walking bridge to ensure emergency operating authority access to Well #1 and water reservoir operations.	Yes
	Thomas St. (East and Westside for 180m within Waste Water Treatment Plant frontage on Thomas St.)	Addition	No parking expanded to ensure emergency operating authority access to the Waste Water Treatment Plant, assists with Bio solids transport truck site access	Yes
	Timms Lane (Northside and Southside from King St. to Peel St.)	Addition	Safety and Sight line issue, narrow road configuration, lane access for Fire and EMS Services	Yes

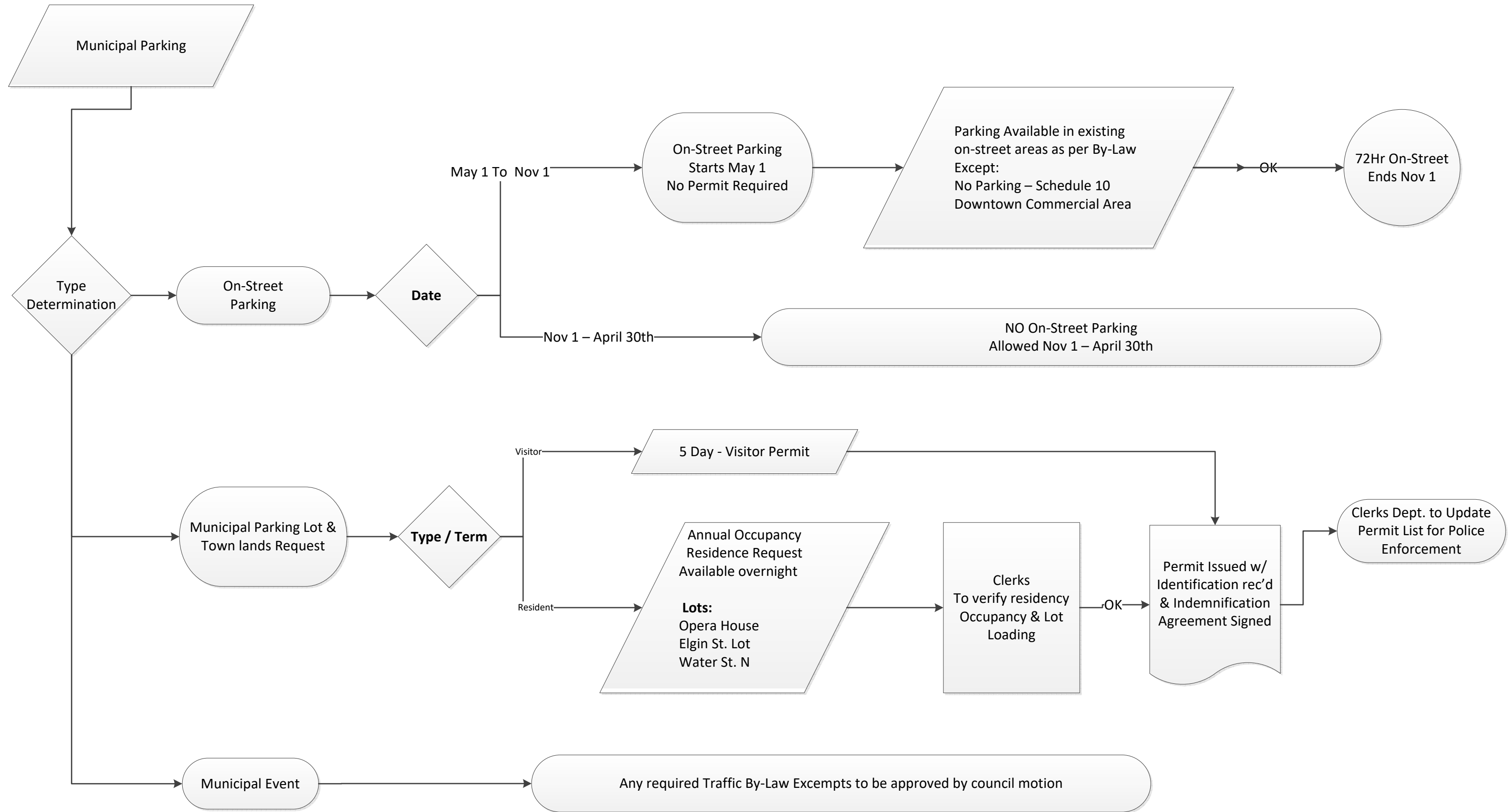
ATTACHMENT B: BY-LAW 6 OF 2014 CONTENT REVISIONS, ADDITIONS AND REMOVALS

SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	Maiden Lane (both sides from Salina to Ingersoll St.)	Addition	Safety , Access and Sight triangle issues, Maiden Lane , 7.0m curb to curb	Yes
	Elizabeth St. (Northside and Southside between Church and Peel St., from 8:00 a.m. to 4:00 p.m., Monday to Friday, inclusive, September to June)	Removal	Central School has closed, no parking to accommodate school hours is not required.	Yes - removals
	Charles St. (Eastside from Queen St. to Jones St.)	Removal	Unsigned , no longer required	No
	Church St. N (Both sides between Widder Street East and to a point 3 meters south of the Church St. Bridge)	Revision	Expands no parking area south on Church St. from Station to south of the bridge. Existing Church St. N from Station ST to Widder St. East, Safety concern due to existing non-conforming intersection layout.	Yes
	Water St. S (When properly worded signs are displayed; eastside, from the north limit of the building known as 17 Water St. S, southerly 16 metres, from 10:00 a.m. to 2:00 p.m. or 4:00 p.m. to 8:00 p.m., buses excluded)	Removal	No longer required, restaurant closed	No
	Wellington St. S (Westside from Egan Ave. to the southernly edge of the property of Arthur Meighan School, from 8-4, Monday to Friday, September to June, school buses excluded.	Removal	Arthur Meighan School has closed, no parking to accommodate school hours is not required.	No
	Wellington St. N (Westside of Wellington St. at the property of Arthur Meighan school areas as so designated by School bus loading signs from, 8:00 a.m. to 4:00 p.m.,	Removal	Arthur Meighan School has closed, no parking to accommodate school hours is not required.	No

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SECTION OF THE BY-LAW	CONTENT	REVISION	REASONING	SIGNAGE CHANGE
	Monday to Friday, September to June, school buses excepted.			
<i>Schedule 11: Use of Sidewalks and Intersections /Three Hour Parking</i>	<ol style="list-style-type: none"> 1. Queen Street East from Peel Street to Water Street 2. Water Street from Water Street Bridge at Trout Creek to Jones Street East 3. Church Street from Church Street Bridge at Trout Creek to Jones Street East 4. Jones Street East from Wellington Street South to Water Street South 5. Wellington Street from Wellington Street Bridge at Trout Creek to Elgin Street East 	Addition		
<i>Miscellaneous Removals</i>	Section 13: On Road Allowance Parking Permits	Removal	Section removed as road allowance parking was opened up, therefore no longer requiring parking permits for those areas. A Designated Parking Permit system established for municipal parking lots.	No

Parking Permits - Workflow



Downtown Municipal Parking Lot Inventory

Name	Location	Spaces	Overnight Space 50%	Existing Allocation via agreement	Available for Overnight Resident Parking
Opera House	Jones St E to Queen St.	44	22	23	-1
Opera House - 2	Jones St E to End South	8	4	0	4
Jones St E	Jones St. E (across from Salvation Army)	32	16	0	16
Elgin St. E	North lot canadian tire	57	28.5	0	28.5
Water St. N	Water St. N by Millrace	16	8	0	8
Residential Parking Capacity				50%	55.5

**Board of Directors Meeting Highlights
Held on May 17, 2018 at 9:00 AM
at the MRF Board Room**



Final Food and Organic Waste Framework

The Ministry of the Environment and Climate Change released the Food and Organic Waste Framework on April 30, 2018. For details on the actions and policies, please access the Framework on:

- The Environmental Registry (<https://ero.ontario.ca/notice/013-1814>), and
- The Ministry of Environment and Climate Change website (<https://www.ontario.ca/page/food-and-organic-waste-framework>)

The Food and Organic Waste Framework consists of two complementary components:

Food and Organic Waste Action Plan, which outlines strategic commitments to be taken by the province to address food and organic waste.

Food and Organic Waste Policy Statement under the Resource Recovery and Circular Economy Act, 2016, which provides direction to the province, municipalities, producers, Industrial, Commercial and Institutional sector (e.g. retailers, manufacturers, hospitals, schools), the waste management sector and others to further the provincial interest in waste reduction and resource recovery as it relates to food and organic waste.

The Policy Statement was issued by the Minister of the Environment and Climate Change, pursuant to Section 11 of the Resource Recovery and Circular Economy Act, 2016, on April 30, 2018 and came into effect at that time.

China announces import ban on an additional 32 scrap materials

Chinese government identifies 16 materials to be banned by the end of 2018, another 16 at the end of 2019. China's Ministry of Ecology and Environment (MEE) announced April 19, 2018, that China will ban imports of 32 types of scrap materials (which the MEE labels as “solid waste”).

Sixteen materials, including scrap metals considered “Category 7” such as motors and wire and cable scrap, will be banned from import beginning Dec. 31, 2018, MEE says in an online announcement (in Chinese).

Another 16 types, including some forms of stainless steel scrap, will be banned beginning Dec. 31, 2019. The full list of banned materials is available online (in English).

The new policies follow earlier announcements to prohibit 24 categories of recyclable materials beginning Jan. 1, 2018, and the imposition of tighter quality standards on all scrap imports beginning March 1, 2018.

China began importing secondary raw materials in the 1980s and subsequently grew to become the world's largest importer of recyclables.

The Chinese government began taking action to phase out such imports in 2017, citing environmental concerns. Many recyclers and policy analysts, however, sense protectionism in the moves, since China's government has indicated it is taking measures to replace the imports with domestic resources before the end of 2019.

Wind Up Direction for the Municipal Hazardous or Special Waste (MHSW) Program

On April 12, 2018, the Minister issued a wind up direction letter to Stewardship Ontario for the MHSW program.

Stewardship Ontario must submit a wind up plan for the MHSW program to the Resource Productivity and Recovery Authority (the Authority) no later than June 30, 2019, and the program is to cease operation on December 31, 2020. The wind up direction to Stewardship Ontario and a complementary policy direction to the Resource Productivity Recovery Authority (Authority) can be found on the Authority's website (<https://rpra.ca/municipal-hazardous-or-special-waste-mhsw-program-wind-up/>).

Volvo Trucks presents second electric truck model in three weeks



Just three weeks after the unveiling of Volvo Trucks' first all-electric truck, the Volvo FL Electric, the company is expanding its product range with yet another electric truck. The Volvo FE Electric is designed for heavier city distribution and refuse transport operations with gross weights of up to 27 tonnes. Sales will commence in Europe in 2019.

The first Volvo FE Electric, a refuse truck with a superstructure developed together with Europe's leading refuse collection bodybuilder, Faun, will start operating in early 2019 in Germany's second-largest city, Hamburg.

Today, each conventional refuse vehicles emits approximately 31.300 kg carbon dioxide every year. An electrically powered refuse truck with battery that stands a full shift of eight to ten hours is a breakthrough in technology. Another benefit is the fact that Stadtreinigung Hamburg generates climate-neutral electricity that can be used to charge the batteries."

The new Volvo FE Electric will be offered in several variants for different types of transport assignment. For instance with Volvo's low-entry cab, which makes it easier to enter and exit the cab and gives the driver a commanding view of surrounding traffic. The working environment improves too as a result of the low noise level and vibration-free operation. Battery capacity can be optimised to suit individual needs, and charging takes place either via the mains or via quick-charge stations.

Mack to test fully electric collection vehicle in New York, in 2019

Electromobility, video telematics and updates on LR models focus for Mack at Waste Expo

At Waste Expo in Las Vegas, Mack hosted a press conference with several announcements, including the availability of pre-wired Lytx video telematics, new features for LR model collection trucks, as well as an announcement about the advancement of electromobility for collection fleets, through a pilot project planned for New York City, in 2019.



Mack Trucks plans to have a fully electric Mack LR refuse model equipped with an integrated Mack electric drivetrain operating in North America in 2019. The New York City Department of Sanitation (DSNY), one of Mack's largest customers, will test the demonstration vehicle in its highly demanding operations.

According to Mack, at this stage of electromobility technology and infrastructure development, a fully electric vehicle will deliver the most value within a closed loop application, in which the truck returns home every night, such as refuse. Benefits of fully electric trucks include zero emissions, significantly reduced noise and environmental sustainability. The ability to operate quietly at night is particularly attractive to refuse customers in urban areas.

SWANA announces renewed focus on plastic reduction and recycling

SWANA announced that it is committing to a renewed focus on improving recycling practices and reducing the generation of single-use plastics.

The Silver Spring, Maryland-based Solid Waste Association of North America (SWANA) has announced that it is committing to a renewed focus on improving recycling practices and reducing generation of single-use plastics.

In support of this renewed focus on ending plastic pollution, SWANA emphasized to all members and the public that “reduce and reuse” comes before “recycle” on the waste hierarchy for a reason, and noted that primary efforts should center on reducing the amount of waste generated and finding ways to give products a longer life cycle in order to reduce environmental impacts.

To successfully process plastic waste, the public must be educated on what goes into the blue bin to make smarter recycling choices: Plastic bags cause jams to processing equipment, batteries cause serious fires and food waste can contaminate an entire bale.

Contamination has been a major concern in the wake of China’s waste import restrictions. Recycling exports have declined and SWANA acknowledges the need for increased governmental support for North American recycling programs, an industry that provides jobs, tax revenue and preserves landfill space. SWANA recently sent a letter to key congressional leaders in the U.S. urging that recycling be included in any future Infrastructure bill.

SWANA’s new Recycling Task Force is working to address how North America can successfully and sustainably process the amount of plastic that is in our waste stream by initiating public education efforts, actively calling for increased funding for recycling infrastructure and exploring new opportunities to increase demand for recycled content.

China freezes out US scrap shipments for 30 days

Nation's shuttering of CCIC offices effectively seals market for May 2018.

The Washington-based Institute of Scrap Recycling Industries (ISRI) has notified its members that it has learned that the U.S. operations of CCIC North America (CCIC NA) have been suspended for one month, effective May 4 through June 4, 2018.

"As a result, no [outbound scrap shipment] inspections can be arranged or certificates issued during this period," states ISRI, as CCIC's preinspection system in North America has been temporarily closed. "There is no doubt that this will severely impact U.S. scrap exports to China," the organization says in its May 3 announcement.

According to ISRI, "This action affects only the scrap recycling industry and only shipments from the United States [and] containers that received CCIC approval prior to May 4 but that have not yet obtained their certificate will encounter difficulty at the port of entry."

The association also indicates that exporters responsible for containers that fail CIQ (China Inspection and Quarantine Services) inspection at a Chinese port could face losing their AQSIQ (General Administration of Quality Supervision, Inspection and Quarantine) export license.

According to ISRI, the Chinese General Administration of Customs has issued a notice stating specific steps are being taken because of the failure of "multiple batches" of material arriving at Chinese ports that did not meet the government's environmental protection standards.

Beginning May 4, all shipments arriving from the U.S. will be required to be 100 percent opened for inspection. Shipments containing unwanted materials will be subject to "100 percent examination with lab testing analysis," in a procedure that one trader based in south China suggests would cost about \$20,000.

The materials listed as unwanted in the ISRI notification are: "hot plastic waste plastics, metal scrap containing powder and the waste papers containing hard-to-be-identified special paper (silicone paper, wet wax paper, thermal paper, moisture-proof paper, etc.) and waste paper with suspected hazardous materials."

Other steps are being taken:

CCIC NA has been suspended from performing inspections and issuing certificates for scrap materials bound for China effective May 4, 2018, and continuing through June 4, 2018.

CCIC NA has been placed on an "A category risk early warning measure." This penalty is aligned with AQSIQ regulations issued late last year that became effective Feb. 1 and includes new guidelines for holding exporters and inspectors responsible for shipments that fail to meet quality standards.

Those same AQSIQ regulations also allow independent inspection companies to apply for a Chinese government license to issue preshipment inspection certification for scrap exports. "Unfortunately, we believe there have been no licenses issued to any inspection company outside of CCIC NA since Feb. 1st, thus the penalty has been placed on the industry's only option for preshipment inspection and thus effectively shuts down the trade," ISRI says.

Port inspectors are directed to carefully review inspection and shipping documents to verify, among other information, that the preshipment inspection certificate was issued before shipping, proper preshipment inspection was conducted, and all addresses and other information is accurate.

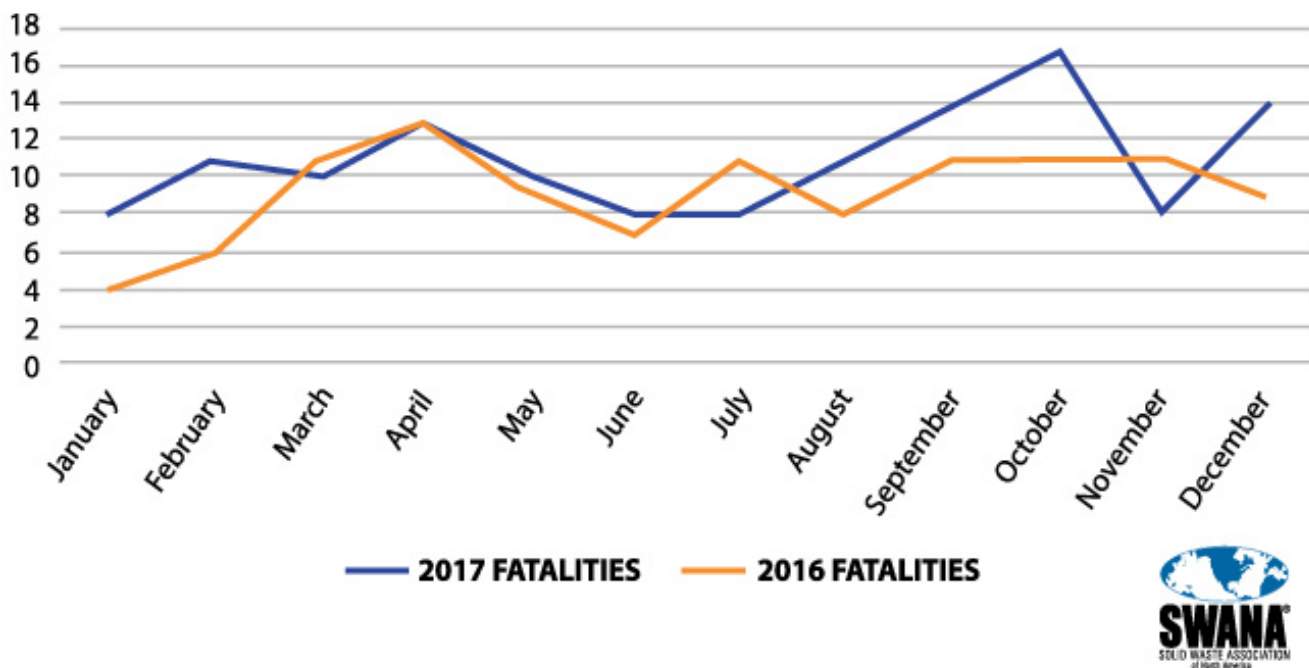
The action takes place at the same time the two nations are trading tariff enactments and media reports are circulating that Chinese buyers have halted their purchases of U.S. soybeans.

It also occurred on the first day of a two-day round of negotiations between high-level Trump administration negotiators and the Chinese government on critical aspects of the U.S.-China trade relationship. Neither side in those negotiations made any public announcements at the end of the first day (Thursday, May 3), and when the negotiations concluded at the end of China's workday Friday, May 4, the Xinhua news agency of China reported only that "considerable differences still exist on some issues [and] continued hard work is required for more progress."

SWANA Releases Sobering Solid Waste Industry Fatality Data for 2017

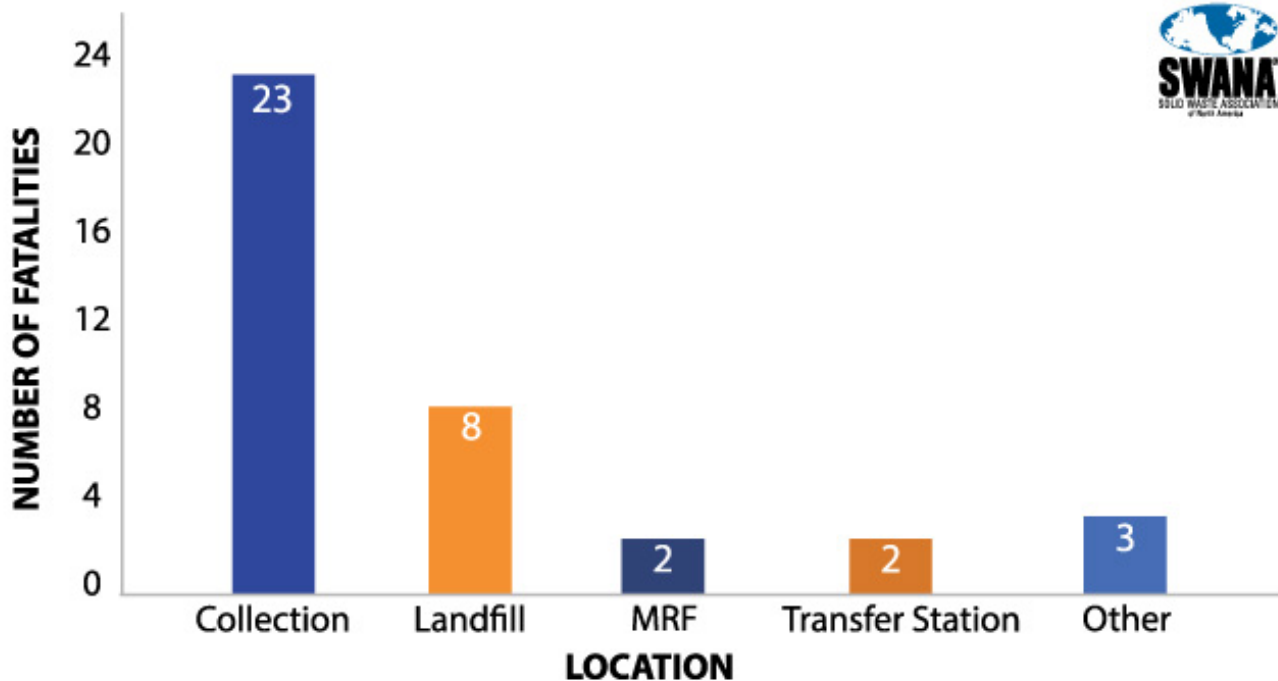
SWANA releases its 2017 solid waste industry fatality data with 132 recorded fatalities – an 18 percent increase in total fatalities compared to 2016, with almost all incidents occurring in the United States. SWANA records and investigates fatal incidents that involve solid waste management as part of its mission, and releases industry data to create a better understanding of the state of safety in the solid waste industry and where improvements are necessary. In 2017, there were 94 members of the public killed and 38 workers on the job, with over 75 percent of the incidents involving a private sector solid waste company. October 2017 had the most fatalities at 17, though no month had fewer than eight. Compared to 2016, April had the most with 13 fatalities and January had the least with four. “I am disappointed in the waste industry’s safety performance in 2017 based on the fatality-related data that SWANA maintains,” said David Biderman, SWANA’s Executive Director and CEO. “There were an unacceptable number of preventable fatal incidents involving our trucks and equipment.”

FATALITIES BY MONTH



The majority of deaths involving a member of the public occurred on the roadways, with 60 percent involving a solid waste vehicle and at least one other vehicle. Sixteen of these cases involved the other vehicle crossing into the lane of an oncoming waste vehicle. Ultimately, there were 94 third-party fatalities: 57 were drivers of or passengers in other vehicles, 23 were pedestrians, eight were bicyclists, four were motorcyclists, and two occurred at disposal facilities. Of the 38 workers who died on the job in 2017, approximately 60 percent were killed during collection, 21 percent died at a landfill, with the remainder occurring at Material Recovery Facilities, transfer stations and other locations. A disproportionate number of these incidents involved small companies, usually haulers with fewer than 20 trucks. Half of the fatalities that occurred at landfills were drivers working on or around their trucks at the time of the incident, and two of them were spotters.

2017 WORKER FATALITIES BY LOCATION



“We need to do a better job of communicating to front line workers the importance of wearing safety belts while in the truck, lockout-tagout, and backing carefully, in order to mitigate the risk of preventable accidents,” added Biderman. Consistent with previous years, solid waste workers died in a wide variety of ways, including being struck by their own truck, falling off the riding step, and colliding with other vehicles on the road and equipment at disposal facilities. In four of the 37 fatal incidents, a collection worker was struck and killed by another vehicle.

These sobering industry statistics are why SWANA is proud to support recent efforts to pass Slow Down to Get Around (SDTGA) legislation in several states, including South Carolina, Kansas, Ohio and Maryland. Recently passed in Nebraska, 17 states now have SDTGA laws on the books.

The first two worker fatalities in 2017 were both in Maryland, including the death of City of Laurel employee Marcus Colbert. City of Laurel Mayor Craig Moe testified at the Maryland statehouse to help pass the state’s SDTGA bill, which is expected to be signed this spring. “The City of Laurel was grateful and privileged to work with the Solid Waste Association of North America on Maryland’s new legislation; Motor Vehicles – Operation When Approaching Vehicle with Visual Signals will raise public awareness and provide a consistent message to motorists to pay attention to their surroundings to Slow Down to get Around,” said City of Laurel Mayor Moe. “This legislation will allow workers on our roadways to successfully complete their assignments safely and to return to their families at the end of the work day,” add Mayor Moe. SWANA embraces the goal of getting all workers home safely and urges industry professionals to use SWANA’s safety resources, including the “Five to Stay Alive” safety series, weekly Safety Monday mailings, and safety events and trainings across North America, to move the solid waste industry off the federal government’s list of most dangerous jobs.

Machinex Introduces Samurai sorting robot at Waste Expo and IFAT

Self-aware sorting technology developed in partnership with AMP Robotics

Featuring a unique 4-articulation robot, this machine employs superior artificial intelligence (AI) technology to identify materials for accurate, positive product recovery or as a precise quality control function. The AI operates according to a pre-determined order of task hierarchy to maximize financial return while continually improving and learning from operating experience to assure maximum recognition efficiency.

According to Machinex, compared to a human sorter, which achieves an average of 35 picks per minute, the SamurAI manages to double this average by reaching 70 picks per minute. The SamurAI has been designed to accommodate sorting conveyor width up to 48 inches while offering a modular design for multiple robot configurations.



Machinex says they have responded to the requirements of MRF operators, and that this robotic solution will reduce reliance on manual labour working in difficult environments, therefore reducing ongoing operating costs while improving overall system performance.

In recent years Machinex has developed equipment such as ballistic separators and optical sorters for integration into both new and existing sorting facilities to achieve extremely high recovery and purity levels. The SamurAI therefore comes in support to enhance the automation and the performance of the complete plant in order to reach the strict quality standards of the local and export markets and divert more material from landfill.

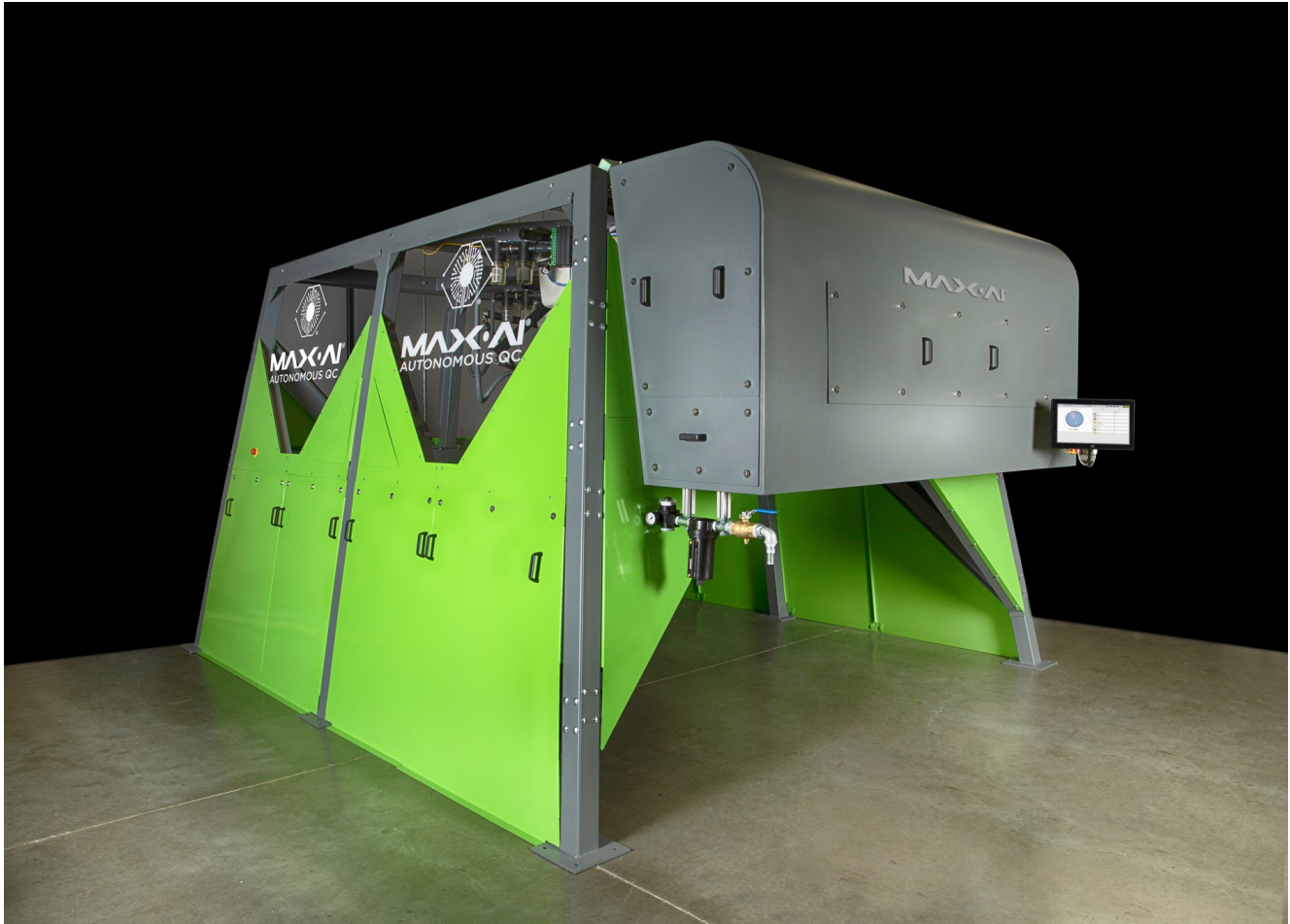
After a very detailed and rigorous process to select a partner to provide Machinex with an artificial intelligence system, AMP Robotics was engaged due to their wide experience and expertise within the recycling industry. AMP Robotics is well represented within the North American market and their AI technology is installed and successfully operating in several material recovery facilities. The role of AMP Robotics will be to provide the artificial intelligence for the robot, while Machinex will provide all of the required robotic hardware and will ensure its complete system integration.

Matanya Horowitz, CEO of AMP Robotics: "We are very excited to be partnering with Machinex, an industry leader in material recovery. With Machinex we not only expand our market reach but gain a truly collaborative and deeply experienced partner who shares our vision of the potential of artificial intelligence in the recycling industry."

The first two SamurAI units will be installed immediately following Waste Expo, in May 2018, at locations in both the United States and Canada. With the two new SamurAI and multiple AMP installations, Machinex is positioned to deliver the knowledge and experience to insure successful future operations. Further robots are soon to be installed while a number of other sales are currently being finalized with customers both from North America and Europe.

Max-AI AQC-2 robotic sorter expands application to newspaper sorting

AI-powered robotic sorter is now available for paper sorting applications



The Max-AI AQC (Autonomous Quality Control) product line from Bulk Handling Systems (BHS) has expanded with the release of the AQC-2 for paper sorting applications. Max-AI technology employs artificial intelligence (AI) to make material identification and selection decisions; high-speed robotic sorters carry out the sorting. The AQC-2 features two robotic sorters and is able to sort on belt widths up to 72" (1800mm). The release of the AQC-2 complements the earlier release of the AQC-1, which has been used to sort containers and contamination in plastics and metals, and to recover high value items from residue.

The new capabilities coincide with the industry's demand for technology to create a clean news product. The AQC-2 sorts at speeds superior to manual sorting while recovering cardboard, containers and plastic film and removing contamination to create a clean news product. The AQC-2 complements BHS' Tri-Disc technology and NRT optical sorters to fully automate the quality control process for paper and containers. The level of automation possible with Max-AI technology will significantly lower operating costs - especially while running multiple shifts - while adding production and quality capabilities that surpass those of manual sorting.

While it doesn't make financial sense to add another optical sorter to remove the remaining small cardboard, it does make sense to add the AQC-2, equipment that will recover the remaining cardboard while at the same time removing other commodities or contaminants from the news stream. The results have been excellent and the investment really pencils out. We are thrilled to have a solution for our customers that creates clean news with zero labor and provides a fast return on their investment."

Automation to impact at least 50% of Canadian jobs in the next decade: RBC research

A new RBC research paper, *Humans Wanted – How Canadian youth can thrive in the age of disruption*, has revealed that 50% of Canadian jobs will be disrupted by automation in the next 10 years.

As a result of this disruption, Canada's Gen Mobile – young people who are currently transitioning from education to employment – are unprepared for the rapidly changing workplace. With 4 million Canadian youth entering the workforce over the next decade, and the shift from a jobs economy to a skills economy, the research indicates young people will need a portfolio of “human skills” to remain competitive and resilient in the labour market.

Key Findings:

- Canada's economy is on target to add 2.4 million jobs over the next four years, virtually all of which will require a different mix of skills.
- A growing demand for “human skills” will grow across all job sectors and include: critical thinking, co-ordination, social perceptiveness, active listening and complex problem solving.
- Rather than a nation of coders, digital literacy – the ability to understand digital items, digital technologies or the Internet fluently – will be necessary for all new jobs.
- Canada's education system, training programs and labour market initiatives are inadequately designed to help Canadian youth navigate the new skills economy, resulting in roughly half a million 15-29 year olds who are unemployed and another quarter of a million who are working part-time involuntarily.
- Canadian employers are generally not prepared, through hiring, training or retraining, to recruit and develop the skills needed to ensure their organizations remain competitive in the digital economy.

RBC Future Launch is a decade-long commitment to help Canadian youth prepare for the jobs of tomorrow. RBC is committed to acting as a catalyst for change, bringing government, educators, public sector and not-for-profits together to co-create solutions to help young people better prepare for the future of the work through “human skills” development, networking and work experience.

Top recommendations from the report include:

- A national review of post-secondary education programs to assess their focus on “human skills” including global competencies
- A national target of 100% work-integrated learning, to ensure every undergraduate student has the opportunity for an apprenticeship, internship, co-op placement or other meaningful experiential placement
- Standardization of labour market information across all provinces and regions, and a partnership with the private sector to move skills and jobs information to real-time, interactive platforms
- The introduction of a national initiative to help employers measure foundational skills and incorporate them in recruiting, hiring and training practices

About the Report

RBC Economics amassed a database of 300 occupations and drilled into the skills required to perform them now and projected into the future. The study groups the Canadian economy into six major clusters based on skillsets as opposed to traditional classifications and sectors. This cluster model is designed to illustrate the ease of transition between dissimilar jobs as well as the relevance of current skills to jobs of the future.

Plastic-eating enzyme accidentally created by scientists could help solve pollution crisis

Scientists have created a substance capable of “eating” plastic that could help tackle the world’s pollution problem.

The substance is based on an enzyme – a “biological catalyst” living in a Japanese recycling centre that researchers suggested had evolved it in order to eat plastic.

Dubbed PETase for its ability to break down the PET plastic used to make drinks bottles, the enzyme accelerated a degradation process that would normally take hundreds of years.



Decline in plastic bags on seabed shows tackling waste is working

Fine-tuning this naturally produced enzyme allowed a research team to produce something capable of digesting plastic more effectively than anything found in nature. By breaking down plastic into manageable chunks, the scientists suggest their new substances could help recycle millions of tonnes of plastic bottles.

Plastic is notoriously resistant to natural degradation, and the discovery of the Japanese plastic-eating bacteria in 2016 was heralded by experts and commentators alike as a potential natural solution to plastic pollution.

While attempting to verify these claims, University of Portsmouth biologist Professor John McGeehan and his colleagues accidentally created a super-powered version of the plastic-eating enzyme. During an investigation of the enzyme’s structure, the scientists made a slight tweak to the part thought to be involved with plastic digestion.

Doing so ramped up the ability of the enzyme to degrade PET, and also gave it the ability to degrade an alternative form of PET known as PEF. The research was led by postgraduate student Harry Austin, and published in the journal Proceedings of the National Academy of Sciences.

Though simply breaking down larger pieces of plastic into smaller pieces is not in itself useful – and in fact creates microplastics of the type current causing damage to marine environments – the scientists suggest their method could be employed to make plastic recycling far more effective.

The discovery has been welcomed enthusiastically by other scientists, who nevertheless cautioned there would be a long way to go before these enzymes are widely applied in the recycling industry.



Awareness of plastic pollution has spiked in recent months, with communities across the UK implementing measures to cut down on plastic waste.

These local efforts have been accompanied by Government policies to help tackle this “scourge”, including the ban on microbeads and the introduction of a bottle deposit scheme.

However, Professor McGeehan noted the role that science must also play in developing novel solutions to fight against the tide of plastic.

"Few could have predicted that since plastics became popular in the 1960s huge plastic waste patches would be found floating in oceans, or washed up on once pristine beaches all over the

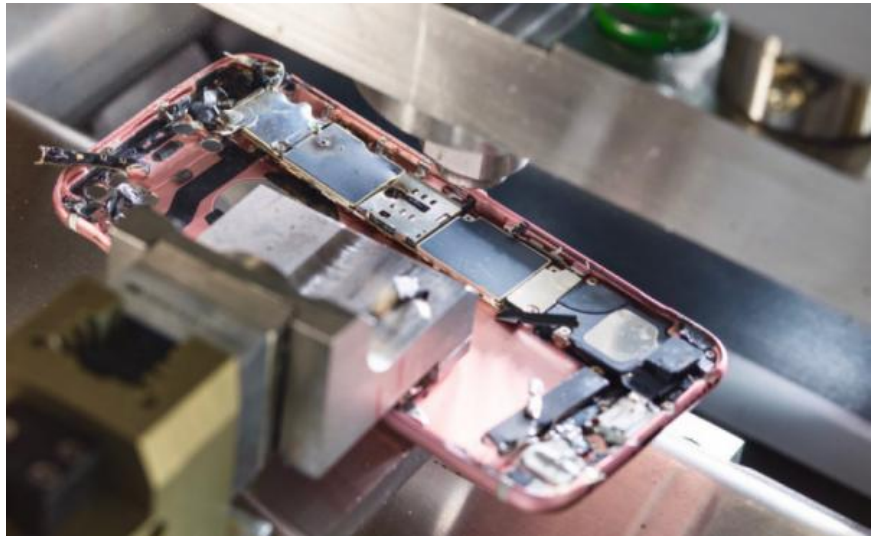
world,” he said.

Stripping an iPhone? Leave it to Daisy

'Daisy' is the name that's been given to a robot developed by Apple for the deconstruction of its iPhones - another example of the company's increasing focus on reuse and refurbishment as a future business model.

According to the company, Daisy builds on a previous generation of technology dubbed 'Liam', which Apple developed to recycle iPhones and remove components to be reused for other purposes - and not necessarily just for new electronic gadgets.

Daisy can handle nine types of iPhone, according to Apple. 'We created Daisy to have a smaller footprint and the capability to disassemble multiple models of iPhones with higher variation compared to Liam,' it explains.



Also, it can recover materials for which recyclers do not yet have the tools, the company claims.

The launch of the new robot comes a year after Apple announced that its smart phones and MacBooks of the future would be made out of 100% recycled materials.

Potholes 'to be filled with recycled plastic bags' in desperate bid to solve roads crisis

Potholes will be filled in with recycled plastic bags in an attempt to tackle the desperate crisis sweeping Britain's roads.

Years of neglect combined with the recent extreme weather has seen millions of potholes cause havoc across the UK.

Now, in a landmark trial, Fife Council is in negotiations to use a bitumen-substitute material called MR6 to repair damaged road services.

The company behind the idea, Carlisle-based MacRebur, has won financial backing from Sir Andy Murray and billionaire Virgin boss Sir Richard Branson and has already undertaken a £200,000 resurfacing scheme on the A7 in the Lake District.

Similar schemes are underway elsewhere in Europe, including the Netherlands.

With recent estimates suggesting it will cost £1.2billion to tackling Scotland's pothole backlog, planners are naturally keen to find innovative solutions.

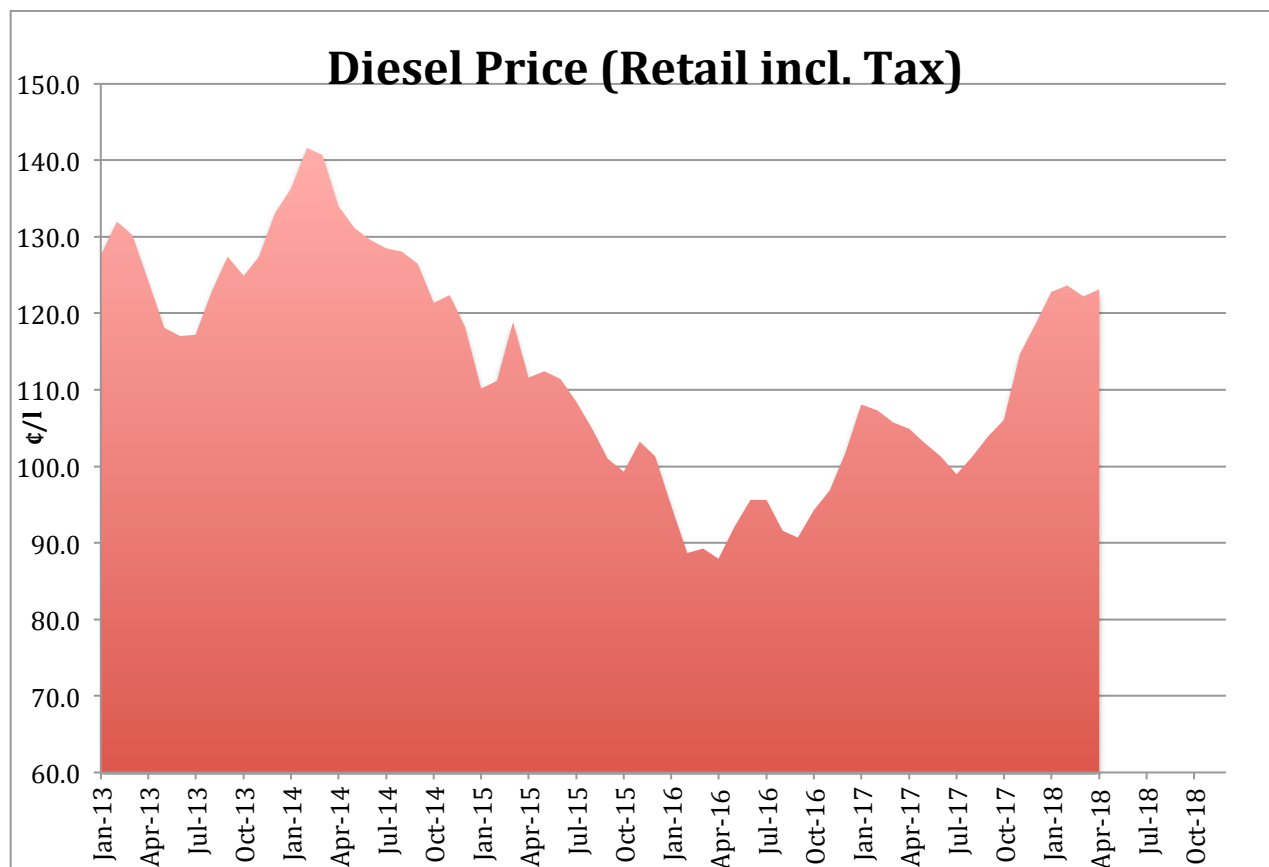
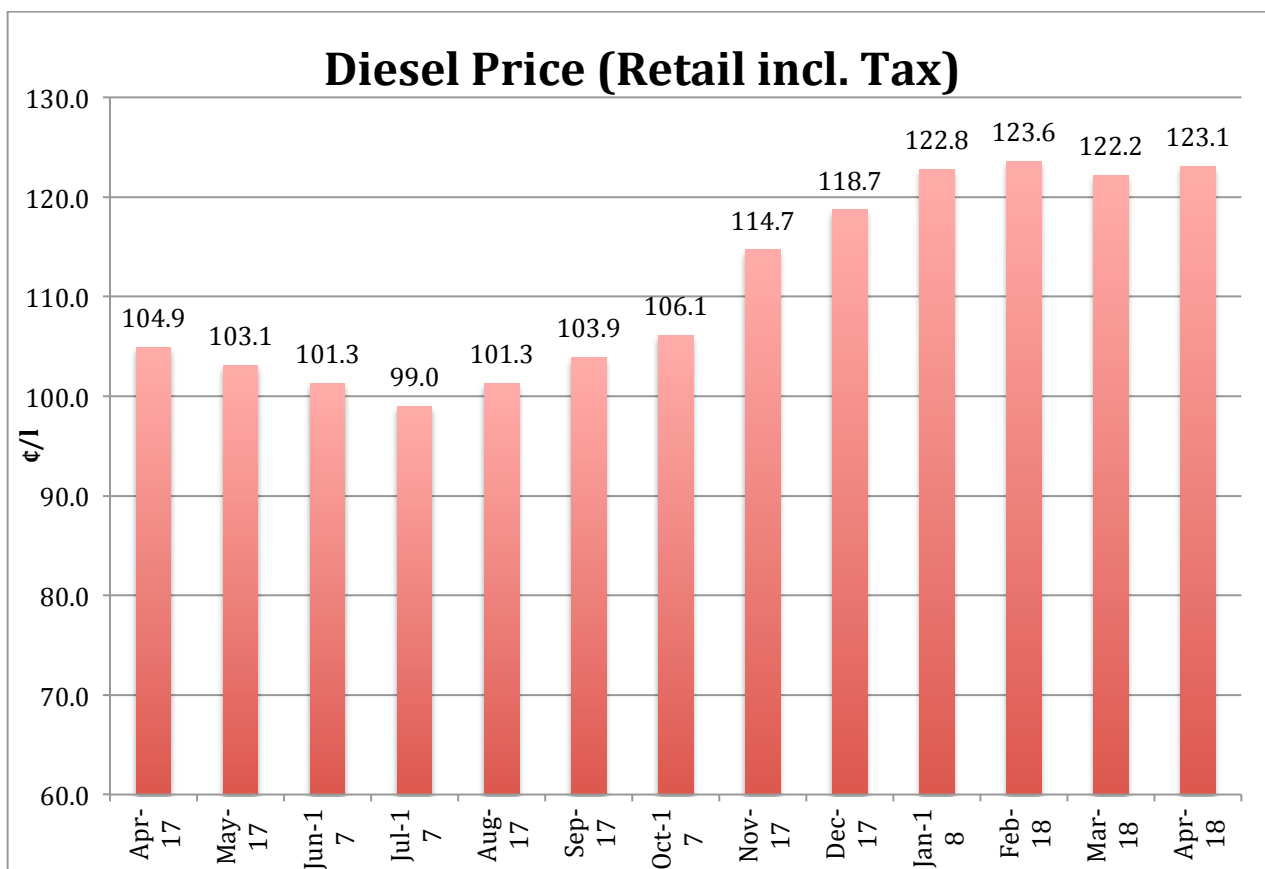
Tests suggest the MR6 filler is 60 percent stronger and lasts ten times longer regular asphalt.

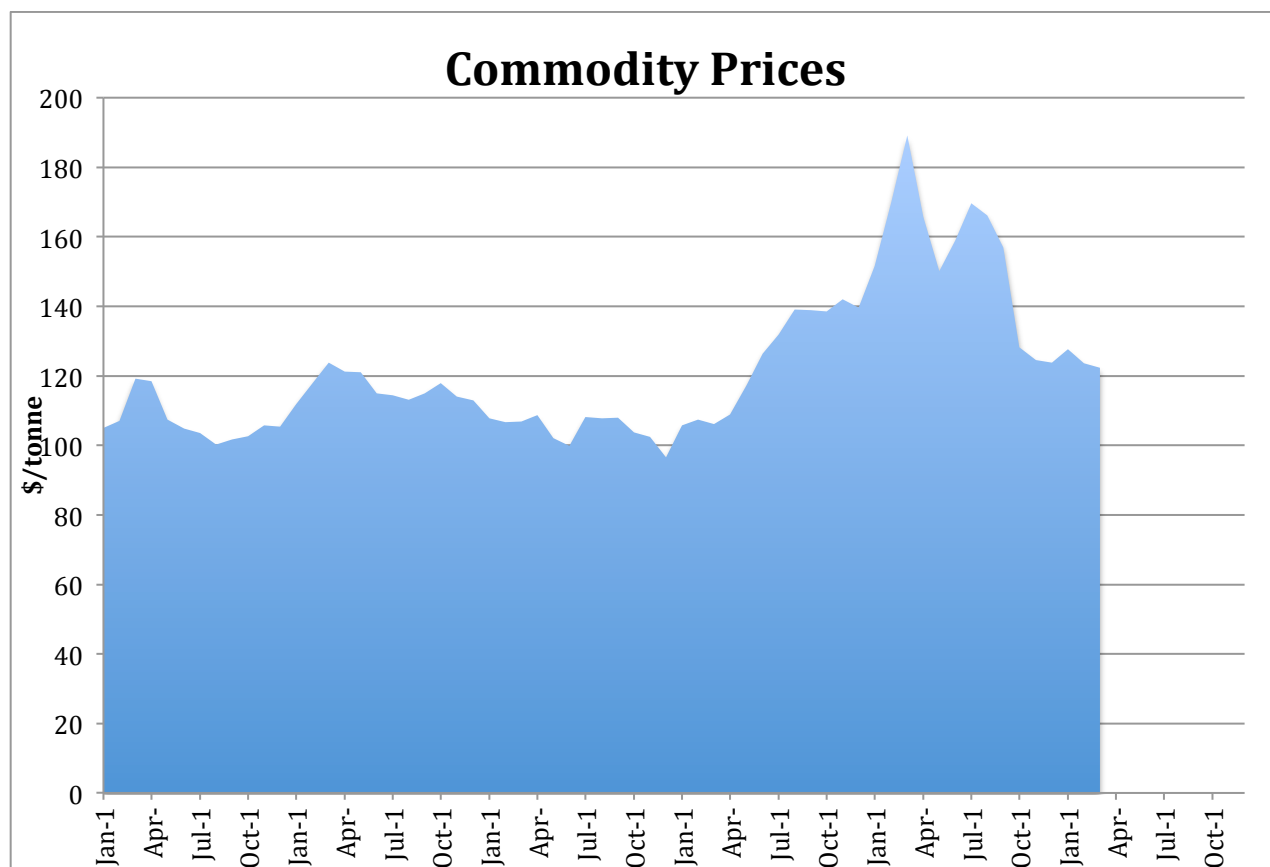
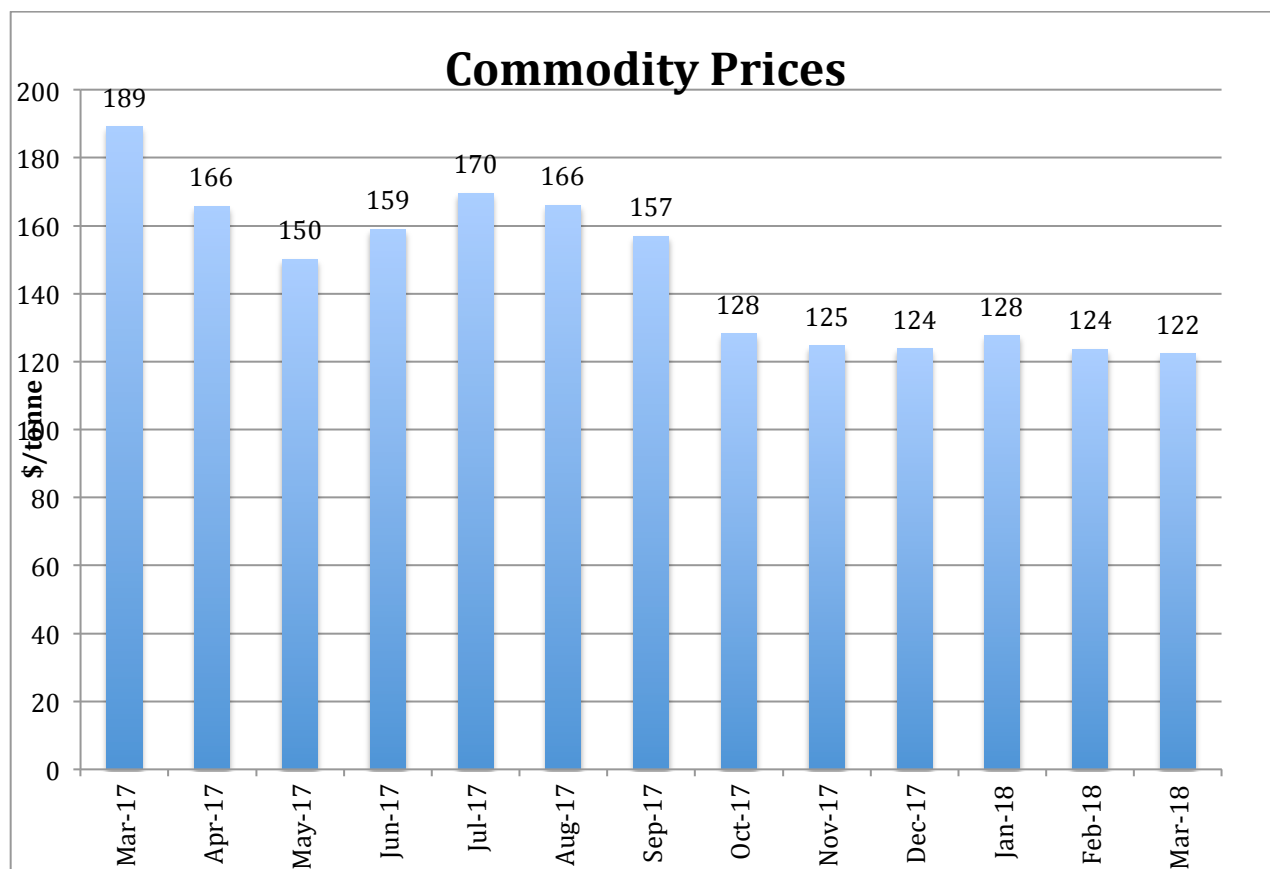
Toby McCartney, MacRebur co-founder and chief executive, hit upon the idea while working in India for a charity helping people on landfill sites.

It would be wonderful to use these materials

Some of the waste plastic retrieved by them was put into potholes, had petrol poured all over them, and the rubbish set alight until the plastics melted into the craters.

Mr McCartney and his colleagues refined the idea, taking a mix of waste plastics which they turn into pellets which can be used for road repairs.





PERTH DISTRICT HEALTH UNIT BOARD

April 18, 2018

The Board of Health of the Perth District Health Unit met on the above date at 9:30 am at the Perth District Health Unit, Multipurpose Room.

Members present: Teresa Barresi; Helen Dowd; Walter McKenzie; Anna Michener; Bill Osborne and Kathy Vassilakos

Member regrets: Bonnie Henderson; Paul Robinson; Bob Wilhelm

Staff present: Dr. Miriam Klassen, Medical Officer of Health; Julie Pauli, Business Administrator; Tracy Allan-Koester, Director of Community Health; Donna Taylor, Director of Health Protection and Cathie Paulencu (Recorder)

Guest: Dr. Linna Li, Public Health and Preventive Medicine Resident

Teresa Barresi, Chair presiding.

Agenda Approval

Moved by: Helen Dowd
Seconded by: Walter McKenzie

**That the agenda for today's meeting be adopted as presented.
Carried.**

Pecuniary Interest

There were no disclosures of pecuniary interest.

Adoption of Minutes

Moved by: Anna Michener
Seconded by: Kathy Vassilakos

**That the minutes of the previous meeting dated March 21, 2018 be adopted as presented.
Carried.**

Closed Meeting

Moved by: Walter McKenzie
Seconded by: Kathy Vassilakos

**That the Board enter into Closed Meeting at 9:34 am to discuss personal matters.
Carried.**

Moved by: Helen Dowd
Seconded by: Bill Osborne

**That the Board reconvene in open meeting at 9:49 am.
Carried.**

Moved by: Helen Dowd
Seconded by: Kathy Vassilakos

That the Board ratify the CUPE agreement and Memorandum of Settlement for 2018-2019 and that the Medical Officer of Health and Secretary be authorized to sign.

Carried.

Business Arising

- a. Amalgamation Steering Group Update
Dr. Miriam Klassen, Medical Officer of Health presented minutes from the Amalgamation Steering Group dated January 18, 2018. The Steering Group met February 21, 2018 and the next meeting will be held on April 18, 2018.
- b. Comparison of Mileage Rates
Julie Pauli, Business Administrator presented a written report entitled "Comparison of Mileage Rates".

Moved by: Kathy Vassilakos

Seconded by: Anna Michener

That the Board retain the current mileage rate of \$0.49 per kilometer until October 31, 2018 pending further review.

Carried.

New Business:

- a. Insurance Renewal
Julie Pauli, Business Administrator reviewed the PDHU Schedule of Liability Coverage.

Moved: Helen Dowd

Seconded by: Kathy Vassilakos

That the Board approve the renewal of PDHU liability insurance in the amount of \$41,244.00 plus HST.

Carried.

- b. Registration Open for 2018 alPHa Annual Conference
Dr. Miriam Klassen, Medical Officer of Health, reported that the 2018 alPHa Annual Conference will be held June 10-12, 2018 in Toronto and that registration is now open.

Business Administrator Report

- a. Account Transactions – March 2018
Julie Pauli, Business Administrator presented the accounts for the period ending March 31, 2018.

Moved by: Walter McKenzie

Seconded by: Anna Michener

That the accounts totaling \$1,117,081.50 for March 2018 be adopted as presented.

Carried.

- b. Financial Report – March 31, 2018
Julie Pauli, Business Administrator presented the financial report for the period ending March 31, 2018.

Moved by: Helen Dowd

Seconded by: Anna Michener

That the Financial Report for March 31, 2018 be adopted as presented.

Carried.

- c. 2017 HR Stats
Julie Pauli, Business Administrator presented the 2017 HR Stats.
- d. 2017 Audited Financial Statements
Julie Pauli, Business Administrator presented the 2017 Audited Financial Statements.

Moved by: Kathy Vassilakos
Seconded by: Walter McKenzie

That the 2017 Audited Financial Statements for all programs be approved as circulated with a December 31, 2017 effective date for all transactions.
Carried.

MOH Report

Dr. Miriam Klassen, Medical Officer of Health presented a written report for April 18, 2018 which included advocating for public health; preparing for possible health system changes; continuing to strengthen focus on social determinants of health and health equity and staff updates and Town of St Marys air quality concerns.

Staff Updates:

- one Casual Public Health Nurse hired effective April 19, 2018
- one Community Health Student - effective April 30, 2018

Moved by: Helen Dowd
Seconded by: Kathy Vassilakos

That the Board receive the April 18, 2018 Medical Officer of Health report.
Carried.

Correspondence

- a. alPHa Summary 2018 Budget
- b. alPHa Response – 2018 Ontario Budget
- c. Hastings Prince Edward re Dedicated Funding for Local PH Agencies From Cannabis Sales Taxation Revenue

Moved by: Bill Osborne
Seconded by: Anna Michener

That the Board receive all correspondence for information purposes.
Carried.

Next Meeting

The next regular meeting of the Perth District Health Unit Board will be held on Wednesday, May 16, 2018 at 9:30 am in the Multipurpose Room.

Adjournment

Moved by: Helen Dowd
Seconded by: Kathy Vassilakos

That we now adjourn. **Carried.**

Meeting adjourned at 10:30 am.

- None

Education Session

Stephanie Carlisle, Public Health Inspector, presented an Education Session on *Vector Borne Diseases*.

Attendance: Teresa Barresi; Helen Dowd; Walter McKenzie; Anna Michener; Bill Osborne

Respectfully submitted,

Teresa Barresi, Chair

PERTH DISTRICT HEALTH UNIT BOARD

Multipurpose Rooms – Health Unit

May 16, 2018
9:30 am

A G E N D A

1. Approval of the Agenda.
2. Pecuniary Interest.
3. Adopt the Minutes from meeting dated April 18, 2018 - *attached*
4. Closed Meeting if necessary.
5. Business Arising
 - a. Amalgamation Steering Group Update
 - b. 2018 alPHa Boards of Health Fitness Challenge – *attached*
 - c. Draft Program - 2018 alPHa Annual Conference, June 10-12 – *attached*
 - d. Draft Agenda – 2018 BOH Section Meeting, June 12, 2018 - *attached*
6. New Business
 - a. 2017 Annual PDHU Communications Report – *attached*
 - b. Smoke Free Ontario Strategy - *attached*
 - c. 2018 Draft alPHa Resolutions for Consideration - *attached*
7. Business Administrator Report – Julie Pauli
 - a. Budget
 - b. HBHC/PPNP Budgets
 - c. 2017 MOHLTC Settlement
 - d. Account Transactions – April 2018 – *attached*
 - e. Financial Report – April 30, 2018 – *attached*
8. Medical Officer of Health Report – Dr. Miriam Klassen – *attached*
9. Correspondence
 - a. alPHa Response – Public Health Funding Increase - *attached*
 - b. GBPH – BOH Motion 2018-30 Annual Service Plan and 2018 Budget - *attached*
 - c. GBPH – BOH Motion 2018-29 Tobacco and Smoke Free Campuses – *attached*
 - d. GBPH – BOH Motion 2018-28 Repeal of Section 43 of the Criminal Code – *attached*
 - e. Randy Pettapiece, MPP – Follow-up: Long-Term Care Beds Perth-Wellington – *attached*
 - f. KFL&A – BOH Motion 2018-5 Mandatory Food Literacy Curricula in Ontario Schools – *attached*
 - g. alPHa Response – Smoke-Free Ontario Strategy - *attached*
 - h. Peterborough PH – MP Raybould re Section 43 - *attached*
 - i. Peterborough PH – MPP Scott re Smoke Free Movies - *attached*
 - j. Peterborough PH – MPP Leal re Smoke Free Movies - *attached*
 - k. Peterborough PH – OFRB re Smoke Free Movies - *attached*
10. Date of next meeting – Wednesday, June 20, 2018
11. Adjournment.

12. **Public Announcements.**
13. **Education Session – Mothers and Young Child Clinics and Low German Speaking Community**



Agenda Item 8

PERTH DISTRICT HEALTH UNIT REPORT OF THE MEDICAL OFFICER OF HEALTH

May 16, 2018

1. ADVOCATE FOR PUBLIC HEALTH

- Increase the profile of PDHU in targeted ways
- Continue to strengthen relationships with partners/stakeholders

On April 13, the MOH attended the joint Council of Directors of Education - Council of Ontario Medical Officers of Health (CODE-COMOH) meeting as a public health representative for the SW Local Health Integration Network (LHIN). Agenda items included:

- School Exclusion Guidelines: Dr. Doug Sider from Public Health Ontario (PHO) led a discussion to inform a potential resource and reference document intended to support a consistent approach for the school exclusion of persons with communicable diseases.
- Policy/Program Memorandum 161 (PPM 161) Implementation: Ministry of Education staff provided an update on the PPM to support children with prevalent medical conditions (anaphylaxis, asthma, diabetes and/or epilepsy) in schools.
- Legalization of Recreational Cannabis: Both the MOHLTC and the Ministry of Education (MOE) provided updates on their preparations including fact sheets for parents and educators, and a youth facing resource comprising a webpage and other social media platforms.
- Concussion Update: Dr. Salvatera provided an update on Rowan's Law (Concussion Safety), 2018.
- Provincial Index: The MOE shared that this index will use data from existing provincial-level surveys to provide a provincial view of how students are doing based on the six elements of student well-being identified through the ministry's 2016-17 public engagement process.
- School Climate Survey: The MOE is also working with partners to update the Ministry's school climate survey templates that will support school board-level collection of information related to student well-being targeted for release in the 2019-20 school year.

The Communicable Disease Team is in the progress of informing Health Care Providers and Veterinarians about new and updated reporting requirements under the Health Protection and Promotion Act (HPPA):

Diseases of Public Health Significance

- As of May 1, 2018 the HPPA outlines Diseases of Public Health Significance in a new, consolidated regulation, now entitled *Designation of Diseases, Ontario Regulation 135/18*.
- This new list updates and replaces the former Ontario Reportable Disease List.
- Some diseases have been added and some removed, others updated.

Reporting of Animal Cases

- As of January 1, 2018 veterinarians and laboratories are required to report to public health animal cases of certain diseases. These diseases have the potential to be transmitted to humans (e.g. avian or novel influenza).
- The Ministry has released guidance documents for these new diseases giving direction to staff on response to these new reporting requirements.
- Responses to animal cases reported to the health unit always include notification of and consultation with the Public Health Veterinarian and the Population and Public Health Division of the Ministry of Health and Long Term Care.

Report of the Medical Officer of Health

On April 10th and 11th, Student Public Health Inspector, alongside 2 Public Health Inspectors from the Huron County Health Unit (HCHU), provided public education to 556 students in grades 4/5 at the Huron Perth Agriculture and Water Festival. With the help of a PDHU Public Health Inspector, PDHU and HCHU worked together to develop a new presentation that is more interactive and curriculum appropriate for the school age group that attend the festival. The inspectors discussed beach water safety with the students through the display that had student's use critical thinking and reasoning to determine what might make beach water unsafe. Key messages included: do not swim in water that is cloudy; when beaches are closed it means there are high bacteria levels that can make you sick if you put your head under water or swim in the water; and that not all hazards are visible so testing our beach water is important to ensure it is safe for bathers.

On May 16th PDHU is hosting a workshop for staff and community partners to develop knowledge and skills to support women survivors of abuse through a trauma informed lens. Participants will include staff from other health units, justice, victim services, health care, mental health, shelters etc. Embedding trauma awareness into public health practice is identified as a strategy in the new *Mental Health Promotion Guideline*.

The Communications Managers are preparing a package of materials for provincial candidates involved in the upcoming election based on the alPHA priorities: oral health, pharmacare, tobacco, opioids, and cannabis. An advocacy sheet on Food Insecurity is also being created. The packages will also be shared with local municipal councils.

The Health Unit will be attending the LOOP Family Festival on Saturday, May 12. Our displays will focus on sedentary behavior and screen time, oral health, and smoke-free movies.

2. PREPARE FOR POSSIBLE HEALTH SYSTEM CHANGES

- Support all staff through transition
- Maintain a healthy and resilient workforce
- Ensure effective internal and external communications
- Use evidence-informed decision making

The Management Committee held its annual retreat at River Gardens on April 17. The workshop was facilitated by the Canadian Mental Health Association and the topic was *Mental Health Works*. This information is based on the *National Standard on Psychological Health and Safety in the Workplace*, which was the resource used to create and implement our Joint Management and LIFE committees Employee Surveys implemented in 2013 and 2015.

On Apr 24, the MOHLTC held an Implementation Session on the OPHS and Related Initiatives for public health unit MOHs and CEOs including an overview of the Legislative and Regulatory changes to the Health Protection and Promotion Act (HPPA), Immunization of School Pupils Act (ISPA) and Smoke-Free Ontario Act (SFOA) as well as a consultation on the pending legalization of cannabis. This was followed by a series of workshops held for managers and staff on May 1st, which provided additional orientation and training on the changes and new requirements, and several PDHU staff attended.

On Apr 26, the MOH attended the OMA's Annual Women in Health Care workshop/conference entitled *Gender, Conflict + Power: Navigating Misconduct, Harassment and Bullying in Medicine*, a very informative and engaging session. The keynote speakers were Janice Stein and Dr Susan Phillips.

PDHU staff will participate in the alPHA Fitness Challenge on Thursday, May 10. Staff at the West Gore office are being encouraged to participate in a 30 minute group walk immediately after the renovation celebration. Staff remaining at the Festival Square and Listowel sites will also be encouraged to get out their walking shoes.

Report of the Medical Officer of Health

New in 2018, is an *alPHA Fitness Challenge* for board of health members. The challenge invites boards of health to involve the entire board in 30 minutes of activity at some point during the month and report participation in group or individual activities to alPHA. If our board wishes to participate and you didn't get a chance to be active on May 10th, another opportunity to consider if time and weather permit is a 30 minute walk after the board meeting.

3

3. CONTINUE TO STRENGTHEN FOCUS ON SOCIAL DETERMINANTS OF HEALTH AND HEALTH EQUITY

- Build internal capacity and awareness
- Be local champions

On April 11, staff and MOHs from PDHU and Elgin St. Thomas Health Unit (now part of the new Southwestern Health Unit) discussed advocacy for our self-pay Anabaptist populations. These communities face unique health-related challenges such as large families, genetic disorders, farm and road-related injury as well as transportation and language barriers, limited health literacy and limited access to technology. Although they pay taxes, they do not accept OHIP cards and are therefore required to pay for hospital and other services in cash, creating a financial hardship. Our two health units are working together with community leaders to advocate for consideration for accommodations such as a 50% reduction in hospital costs.

Health Unit Education Committee (HUEC) and Health for All committee, organized *Bridges Out of Poverty* on May 2. The workshop consisted of 2 half-day sessions and was attended by both PDHU staff and community stakeholders. In total, 106 people attended the event (54 in the morning and 52 in the afternoon).

4. OTHER

On May 9, PDHU mailed out 147 suspension orders for students who have incomplete immunization records on file at the Health Unit. Last year, we sent 106 orders out. This number is expected to drop substantially before the suspension order takes effect on May 29th, as students receive missing vaccines and send in their updated records in the next couple of weeks.

The Health Unit has issued 115 food handler certificates as of May 10. PHIs have facilitated this process through courses taught at a high school (7 certificates), at our Stratford (38) & Listowel (23) offices, as well as through providing tests for both an online certification course (39, including 16 for clients of Partners in Employment) and for recertification (8). It is anticipated that we will become much busier because as of July 1 there will be a legal requirement for all food service establishments to have one trained food handler onsite during times of operation. The Environment team is in the process of planning for this along with many others changes to the regulations.

On April 23, a Public Health Dietitian attended the Perth County Child Care Supervisors meeting to orient approximately 15 supervisors and 5 cooks from licensed child care centres to the *Menu Planning and Supportive Nutrition Environments in Child Care Settings Practical Guide*. The session provided background and rationale for the Practical Guide as well as an overview of food and beverage choices, portion sizes and menu planning in child care settings. The *Menu and Nutrition Environment Self-Assessment Tool for Child Care settings* was introduced and resources to support implementation of the Practical Guide were also provided.

PDHU launched the *Bring Back Healthy Team Snacks* program across Perth County after a successful pilot in Listowel last year. The initiative encourages coaches/parents to provide players with vegetables and fruit for a snack at practices and games (if a snack is offered) and have players bring water to stay hydrated. Healthy eating and being active go hand in hand and vegetables/fruit and water are better choices for young athletes than the pre-packaged snacks and sugary drinks that have become so common on sports fields. League executives and coaches from local organizations/sport associations were sent resources electronically.

Report of the Medical Officer of Health

For 2018, Wildwood Conservation Area has prohibited all forms of smoking in all public spaces. Smoking is only permitted on registered campsites or in a designated area. As a beginning, Wildwood has also designated 28 overnight sites as smoke-free. PDHU enforcement staff will be visiting to review signage and provide recommendations as appropriate.

4

PDHU is a member of a sub-committee of the Perth Road Safety Committee that has planned a mock crash scene to be set up in front of Northwestern Secondary School as students arrive for the day on May 25th. After homeroom, students will be in the gym to watch the events unfold outside via YouTube Live. Emergency responders will attend the scene as they would if it were a real driving high crash. They will extricate a victim from the car and respond to the injuries of another victim. Following the mock scene, London Health Science Centre will deliver prevention messaging followed by a personal story from a crash victim. Approximately 800 students from grades 9 to 12 will be participating in the IMPACT program.

The Smoke-Free Ontario Act, 2017 (SFOA, 2017) will be law on July 1, 2018. It will repeal the existing Smoke-Free Ontario Act (SFOA) and Electronic Cigarettes Act, 2015 (ECA) and replace them with a single legislative framework. The SFOA, 2017 will regulate the sale, supply, use, display, and promotion of tobacco and vapour products (e.g., e-cigarettes), and the smoking of medical cannabis.

The SFOA, 2017 and its regulation will prohibit the smoking of tobacco, the use of an e-cigarette to vape any substance and the smoking of medical cannabis in all enclosed public spaces and enclosed workplaces, as well as additional prohibited places, such as child care centres, and children's playgrounds, that were prohibited under the SFOA.

The SFOA, 2017 regulation will further protect Ontarians from second hand smoke and vapour by prohibiting the smoking of tobacco, the use of an e-cigarette and the smoking of medical cannabis in additional places that were not prohibited under the SFOA or ECA:

- Public areas within 20 metres from the perimeter of the grounds of a school
- The outdoor grounds of a community recreation facility, and public areas within 20 metres of these grounds
- Public areas within nine metres from a restaurant or bar patio

Public health units are anticipating Ministry training and updated factsheets. In the coming months PDHU will be working with community partners and businesses to increase awareness of these new requirements.

5. STAFFING UPDATES

Temporary Full Time Public Health Inspector ~ effective May 14

Temporary Full Time Health Promoter (CH) ~ effective May 14, 2018

Casual Dental Hygienist ~ effective May 15, 2018

2 Student Public Health Inspectors ~ effective May 22, 2018

Temporary Full Time Health Promoter (HP) ~ effective May 22, 2018

Respectfully submitted by
Dr. Miriam Klassen
Medical Officer of Health

SPRUCE LODGE
Board of Management Meeting
April 18th, 2018

Present: *Peter Bolland, David Schlitt, and Jennifer Facey*
Councillors: *Jim Aitcheson, Rhonda Ehgoetz, Frank Mark, Kathy Vassilakos*
Regrets: *Councillor Don Van Galen, Councillor Carey Pope*
Guests: *Mike Arndt, Catherine Hartung – Graham Mathew Professional Corp.*

Chairperson Councillor Ehgoetz brought the meeting to order.

Moved by Councillor Aitcheson
Seconded by Councillor Vassilakos

That the agenda for April 16th, 2018 be approved as presented.
CARRIED

➤ Declaration of pecuniary interest.

Moved by Councillor Mark
Seconded by Councillor Vassilakos

That the minutes of March 21st, 2018 be approved as amended.
CARRIED

Business Arising: *None noted.*

New Business:

Auditors' Report:

Mike Arndt and Catherine Hartung from Graham Mathew Professional Corporation joined the meeting to present the Spruce Lodge Home for the Aged audited financial statements for the year ended December 31, 2017.

Moved by Councillor Aitcheson
Seconded by Councillor Mark

To approve the Spruce Lodge Home for the Aged audited financial statements for the year ended December 31, 2017 as presented.

CARRIED

Ratification of Accounts:

Moved by Councillor Aitcheson
Seconded by Councillor Vassilakos

That the March 2018 accounts in the amounts of \$325,903.68 be ratified.
CARRIED

SPRUCE LODGE - Continued

Board of Management Meeting

April 18th, 2018

Financial Report:

The Business Manager presented the Spruce Lodge Revenue and Expenses for the 2 month period ending February 28, 2018 for review and discussion.

Moved by Councillor Aitcheson
Seconded by Councillor Vassilakos

To accept the Spruce Lodge Revenue and Expenses for the 2 month period ending February 28, 2018 as presented.

CARRIED

Administrator's Report:

Moved by Councillor Vassilakos
Seconded by Councillor Mark

To enter closed session at 6:15 p.m.

CARRIED

Moved by Councillor Mark
Seconded by Councillor Vassilakos

To enter open session at 6:16 p.m.

CARRIED

Shared Long Term Care Spending for Perth County:

The Western Warden's caucus for South Western Ontario has prepared a comprehensive paper to explore the spending for long term care and costs per bed. A meeting is scheduled June 6, 2018 to discuss with Perth CAOs.

Risk Management:

There are no critical incidents to report.

The critical incident regarding sexual misconduct of one resident to another has been resolved. A new draft policy will be reviewed in detail.

Roof Leak:

There was a roof leak which occurred due to frozen drains.

Continuum of Care Research Project:

The Administrator distributed a letter from the University of Toronto outlining the research study that will be performed on the Spruce Lodge continuum.

The Administrator asked that Board members bring forward any suggestions to improve the function of the campus.

Community Support Services Program:

Rates for Meals on Wheels will increase to \$6.75 for 2018 and \$7.00 in 2019 to reflect rising food costs. The minimum clause has been removed from the contract.

HPCSSN Launch:

The official launch of the Huron Perth Community Support Services Network (HPCSSN) will take place April 20, 2018. The HPCSSA is partnering together for the benefit of the applicants.

SPRUCE LODGE - Continued
Board of Management Meeting
April 18th, 2018

HPNSS:

The next HPNHSS is scheduled for June 11, 2018 at Huronview in Clinton.

Moved by Councillor Aitcheson
Seconded by Councillor Vassilakos

That the Administrator's report be accepted as presented.
CARRIED

Other Business:

Correspondence:

Long Service Awards:

The Long Service Awards event will take place on May 16th, 2018 following the Board meeting.

Dress Down Days:

☺ *For March 2018, the lucky charitable receipt winner is ...Jenn Smith!*

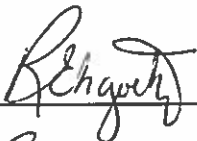
Moved by Councillor Vassilakos
That the meeting be adjourned.
CARRIED

Date & Time of Next Meeting:

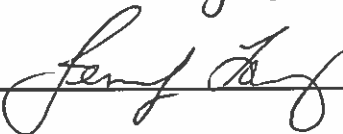
Wednesday, May 16th, 2018 at 5:30 p.m.

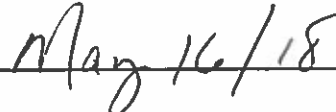
Long Service Awards Event to follow at 6:30 p.m. – Griffith Auditorium

Councillor Ehgoetz
Chairperson



Jennifer Facey
Secretary



Date _____


MINUTES
BOARD OF DIRECTORS' MEETING
TUESDAY, APRIL 24, 2018

Members Present:	M.Blackie	S.McCall-Hanlon
	M.Blosh	H.McDermid
	R.Chowen	A.Murray
	A.Hopkins	B.Petrie
	T.Jackson	M.Ryan
	S.Levin	G.Way
	N.Manning	

Regrets:	J.Salter	T.Birtch
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Solicitor:	G.Inglis
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Staff:	T.Annett	A.Shivas
	J.Enright	M.Snowsell
	B.Glasman	C.Tasker
	C.Harrington	K.Winfield
	T.Hollingsworth	
	C.Saracino	

1. Approval of Agenda

T.Jackson moved – M.Ryan seconded:-

“RESOLVED that the UTRCA Board of Directors
approve the agenda as posted on the Member’s web-site.”

CARRIED.

2. Declaration of Conflicts of Interest

The Chair inquired whether the members had any conflicts of interest to declare relating to the agenda. There were none.

3. Minutes of the Previous Meeting
February 22, 2018

G.Way moved – M.Ryan seconded:-

“RESOLVED that the UTRCA Board of Directors approve the Board of Directors’ minutes dated February 22, 2018 as posted on the Members’ web-site.”

CARRIED.

4. Business Arising from the Minutes

- (a) February 2018 Flood Fact Sheet
(Report circulated at meeting)

M. Helsten introduced C.Hart and S.Taylor to the Board and reviewed the February 2018 Flood Fact Sheet. The Fact Sheet will be distributed to the member Municipalities when the final edits have been completed. The data collected during the February 2018 flood will be used to calibrate the UTRCA models. M.Helsten clarified that the flooding was less severe on the south branch of the river. Following the policy guidelines from the Province, flood lines do not take flood control structures into consideration, as they are manmade structures and do not eliminate risk.

B.Petrie moved – M.Ryan seconded:-

“RESOLVED that the Board of Directors receive the fact sheet as presented.”

CARRIED.

- (b) St. Marys Council Flood Presentations
(Presentation circulated at meeting)

M.Blackie introduced the circulated presentations. He has offered to meet with the golf course to discuss their concerns. Staff will provide a report regarding these presentations at the May Board meeting.

H.McDermid moved – G.Way seconded:-

“RESOLVED that the Board of Directors receive the presentations as presented.”

CARRIED.

- (c) Letter from the Township of Norwich
(Letter attached)

S.Levin moved – A.Hopkins seconded:-

“RESOLVED that the Board of Directors receive the letter as presented.”

CARRIED.

5. Business for Approval

(a) POA Designation
(Report attached)

Staff clarified that section 30.1 of the Conservation Authorities Act requires officers to be appointed by the Board. There was discussion around the role and enforcement abilities of POA officers under the Conservation Authorities Act.

S.Levin moved – T.Jackson seconded:

“RESOLVED that the Board of Directors accept
the recommendation as presented in the report.”

CARRIED.

(b) Conservation Area Additional Capital Projects
(Report attached)

Staff clarified that the paving described in the report is only for the campground. The reserves being used for these projects came from park revenue saved over a number of years. Concerns were raised around the practice of delaying projects and the use of reserves for projects that were not sudden or unexpected. Asset management plans and policy are being developed which will dictate the lifespan of capital and allow for planning that will prevent situations like this in the future.

S.Levin moved – T.Jackson seconded:

“RESOLVED that the Board of Directors accept
the recommendation as presented in the report.”

CARRIED.

(c) Conservation Area Fee Schedule – Reduced Fees for User Groups
(Report attached)

J.Howley reviewed the report for the Board. T.Jackson proposed a motion to include a discount for those with disabilities and disabilities stickers for the day use area. Concerns were raised around possible future financial impacts of a senior's discount. Concerns were also raised around the broad scope of the term disability, whether it should be more specific, and the logistics for staff in checking of identification for a person asking for the discount.

Some members felt that the focus should be on making the parks facilities accessible to people with disabilities instead of offering a discount. Staff do not have an estimate of what the cost

would be to make the parks accessible, but currently they are looking into costs of making the Pavilion accessible

There were questions and discussion around AODA obligations at the parks. G.Inglis stated that it is difficult to determine whether the parks fall under the obligation to be AODA compliant by 2020, at the moment there is no clear answer.

S.Levin moved – S.McCall-Hanlon seconded:

“RESOLVED that the Board of Directors accept recommendation two as presented in the report.”

CARRIED .

T.Jackson requested to go on record that he was opposed to this motion.

B.Petrie moved – M.Ryan seconded:

“RESOLVED that the Board of Directors ask for staff to report on the possibility of dedicating a portion of the fee towards AODA infrastructure and to report on the budget implications to meet the requirements of the AODA and it’s regulations. Further, during the fee discussion for next year, consider the implication and cost of discounting the accessible parking permit and CNIB identification.”

DEFEATED .

(d) Planning Policy Documents Update
(Report attached)

T.Annett introduced the report. Updates will be given to the Board on a regular basis. T.Jackson made a friendly amendment to move the development and implementation of the Engagement Strategy before the Policy Planning Manual Update in the recommendation.

M.Ryan moved – G.Way seconded:

“RESOLVED that the Board of Directors accept the amended recommendation as follows: THAT the Board of Directors support the development and implementation of a partner engagement strategy to guide municipal, stakeholder and partner consultation to update the Upper Thames River Conservation Authority Environmental Planning Policy Manual (2006).”

CARRIED.

(e) Traditional Territory Statement Greeting

(Report attached)

T.Tchir clarified that the statement greeting presented in the report is the standard for this area and has been vetted through the eight First Nations the UTRCA works with. The Board discussed why and if the statement should be made, when and how often the statement should be made, if other people or groups should be recognized during this time, and other ways to acknowledge the traditional territory of the First Nations.

S.McCall-Hanlon left the meeting at 12:00pm

S.Levin moved – A.Hopkins seconded:

“RESOLVED that the Board of Directors accept the recommendation as presented in the report.”

CARRIED.

6. Closed Session – In Camera

There was no business to discuss in Closed Session.

7. Business for Information

(a) Administration and Enforcement – Section 28
(Report attached)

N.Manning moved – G.Way seconded:-

“RESOLVED that the Board of Directors receive the report as presented.”

CARRIED.

(b) Pioneer Village Update
(Report attached)

S.Dunlop reported that due to construction, the London Transit bus service to Fanshawe Conservation Area and the Fanshawe Pioneer Village will be suspended until further notice. The London Transit Commission will meet with S.Dunlop after construction is finished to discuss renewing the service.

M.Blosh moved – S.Levin seconded:-

“RESOLVED that the Board of Directors receive the report as presented.”

CARRIED.

- (c) First Quarter Financial Report
(Report attached)

C.Saracino confirmed there was nothing unexpected financially in the first quarter.

N.Manning moved – M.Blosh seconded:-

“RESOLVED that the Board of Directors receive
the report as presented.”

CARRIED.

- (d) Focus on the Thames Review
(Report attached)

T.Hollingworth thanked the Members for participating in the Focus on the Thames forum. The event was well attended and the evaluations so far have been very positive. The forum and the catalogue were both funded with funding support by Environment Canada to support actions through the Canada-Ontario Lake Erie Domestic Action Plan for reducing phosphorus loading to Lake Erie.

G.Way moved – T.Jackson seconded:-

“RESOLVED that the Board of Directors receive
the report as presented.”

CARRIED.

8. April FYI
(Attached)

The April FYI was not ready for distribution at the time of the meeting.

9. Other Business

C.Harrington and M.Blackie attended the Conservation Ontario annual general meeting last week. Dick Hibma stepped down after 12 years as Chair. Don MacIver representing Credit Valley Conservation is the new Chair of Conservation Ontario.

C.Harrington attended the Conservation Ontario Queens Park day, the focus was on the memorandum of cooperation between Conservation Authorities and multiple Ministries.

Board members asked that all documents be sent electronically in the future, unless paper copies are requested.

10. Adjournment

There being no further business, the meeting was adjourned at 12:15 p.m. on a motion by S.Levin.



Chris Harrington
Acting General Manager
Att.

M.Blackie, Authority Chair

St. Marys Business Improvement Area (BIA) Board Meeting Minutes

Date: Monday, April 9, 2018

Location: Town Hall, Council Chambers, 2rd floor, 175 Queen Street East, St. Marys, ON

Time: 6:30 p.m.

General Members in Attendance: Cathy Forster, Mary Van Den Berge, Cal Ptashnik and Larry O'Hearn, Chantal Lynch, Scott McLauchlan, Maggie Richardson, Amie Rankin, Bruce Barnes

Board members in attendance: Julie Docker-Johnson, Sue Griffiths, Cindy Taylor, Cathie Szmon, Carey Pope

BIA Staff in Attendance: Esther DeYoung, Administrative Assistant

Staff in Attendance: Kelly Deeks, Manager of Economic Development, Andrea Macko, Events Coordinator, Jeff Wolfe, Engineering and Management Specialist

Agenda Items

1.0 Call to order and confirmation of Quorum

Called to order at 6:32 pm

2.0 Declarations of Pecuniary / Conflict of Interest

None

3.0 Additions to the Agenda (to be added in Section 10.0 Other Business)

Addition to 7.4- Rollover funds

4.0 Approval of Agenda as amended

Motion: Carey

Second: Cathie

5.0 Approval of Meeting Minutes from February 2018 BIA Board Meeting (attached)

Motion: Cindy

Second: Cathie

6.0 Delegations

Jeff Wolfe, Engineering and Asset Management Specialist for the Town of St.Marys. Jeff delivered a powerpoint presentation for the Town's planned Wellington St. construction to take place in summer 2020. He hopes for as little interruption as possible to the BIA. An open house for the construction project will be scheduled for summer 2018.

Members noted to be aware of Homecoming 2020, July 2-5, 2020 and the importance of tracking restaurant and store delivery schedules. Jeff replied they plan to replicate the system they implemented during 2017's Queen St construction. The Town also plans to communicate with businesses to minimize any adverse effects. Jeff was asked if general street improvements would be made during construction and tree planters or bike racks added. Jeff replied trees will be removed but tree planters in their place could be discussed.

7.0 New Business

7.1. Years in business plaques

There are several businesses celebrating anniversaries this year. The BIA recognizes businesses with plaques celebrating 5, 10, 15 etc years in business. A question arose on whether to recognize the business since its founding or since the current owner purchased the business. The board decided if these years did not match, to ask the owner which year they want recognized. Plaques are \$23 each.

THAT plaques be ordered for businesses celebrating anniversaries in 2018.

MOTION: Cindy

Second: Cathie

Carried

7.2 Spring promotions

St.Marys recently won an FM96 contest and their morning show will air from St.Marys in the near future. Andrea Macko presented a tentative plan. If approved by the station, she will organize a town-wide free breakfast cooked by volunteers on the Water St.bridge . She will be able to confirm plans in the coming days. The Pyramid Recreation Centre would be a backup location in case of poor weather. Carey Pope remarked this would be a good opportunity to feature a chalkboard mural public art piece.

Cindy presented a Mother's Day gift guide campaign. Businesses would be able to showcase gifts ideal for the holiday and then have the items/certificates featured on the BIA's social media pages.

7.3 Town event marketing materials

The Town created a new tourism promotional card. BIA events added this year include the Bring Your Own Picnic event, Giving Day, and the Christmas Open House. Andrea Macko noted the Town of St. Marys Event Calendar will be linked via QR code on the card. The card should be ready by May 2018.

7.4 Rollover funds

Over the years, BIA budget monies unused or leftover from projects have accumulated in an amount exceeding \$51,000. The board discussed ideas on how to spend the funds. Ideas range from public art to trees and general beautification ideas. The board discussed the Christmas Lights project and the promise to add lights to the Church, Water and Wellington Streets in addition to Queen St. A meeting will be set up with Ron Bailey of Bailey Metal Works and Jed Kelly, Public Works Manager to discuss the lights.

8.0 Project Updates & Committee Reports

9.1 Mural project

Several downtown building owners have tentatively agreed to features murals painted on their walls. The BIA will reach out to local artists for drawing ideas with building owners having final approval. Carey is working with Town staff on the project. Julie asked if the Main Street Revitalization Initiative grant of \$40,000 received by the Town would align with the project. Kelly Deeks will inquire.

THAT a request be made for partial funds from the Town's Main Street Revitalization Initiative Grant be used to partner with the BIA's public art initiative.

Motion: Carey

Second: Sue

Carried

9.2 2018 Committees are: Bring Your Own Picnic (BYOP), Christmas, Giving Day, Governance, Beautification, Ambassador, and Budget

First committee meetings should take place prior to May's BIA board meeting and first updates presented.

9.0 Correspondence

Board members received an email from Chantal Lynch after the agenda came out. .

THAT correspondence from Chantal Lynch be accepted. Attached.

Motion: Cindy

Second: Sue

10.0 Other Business

None.

11.0 Agenda Items for Future Meetings & Date of Next Board Meeting

Next meeting: May 14, 2018.

Jed Kelly will attend the next meeting to talk about feedback during the Santa Claus parade.
Committee updates that day.

12.0 Adjournment

Motion: Cindy

Second: Carey

Adjourned- 8:10pm

2018 BIA Board Meeting Dates

January 8	February 15	March 5	April 9
May 14	June 11	July 9	August 13
September 10	October 8	November 12	December 10

BIA Board: Julie Docker-Johnson (Chair), Sue Griffiths (Treasurer), Councillor Carey Pope, Cathie Szmon, Cindy Taylor

BIA Staff: Esther DeYoung

Town of St. Marys Staff: Trisha McKibbin (Director of Corporate Services)

For Information: Brent Kittmer (CAO/Clerk)

Correspondence

Downtown Assessment Opportunity for the BIA

April 6, 2018

**Chantal
Lynch** <chantalynch@gmail.com>

Inbox x

Good Morning,

Downtowns are back and more important than ever. And, St Marys downtown can become the economic driver for tourism as well as community and economic development. As the heart and soul of our community, our survival will depend in part in our ability to attract new investment downtown.

What could we be doing to help build our community, are we putting our resources into the right vehicles? Who are we, do others see us that way, is there another opportunity we simply do not see. None of us is an expert so why not find one, get a solid plan and execute it.

I would like to suggest having Roger Brooks and his team come to St Marys Downtown and do an evaluation. Roger is a keynote speaker at the Ontario BIA conference this year and I had the opportunity of hearing him at the South Western Ontario Tourism Conference a few years ago, fantastic!

If one reviews the Strategic Plan priorities in the 2018 Budget, overall the members are looking to the BIA to provide the type of services and direction that is available from the assessment I am proposing.

-Training and Member support with a Downtown Destination membership giving access to a huge library of information on branding, product development, marketing and so on. Not only are these tools useful to the BIA but the information is scalable and a small business can find good info.

-Improving Public Space & Beautification; are we doing it right, is this why people come, are we doing enough, what makes us special, what makes us stand out?

-Bringing People Downtown; which people? What works for locals versus tourists? Is our marketing using the right tools to deliver the message, what is the message, does it resonate with those we want to attract and who are those people? Are we making the best use of our relationship with Stratford Tourism Alliance?

With the monies that are available in the Unused Money from Previous Years Budget Line \$51,124.00 I am requesting having Roger Brooks and his team come to St Marys. An investment that aligns with the BIA Strategic Plan with a return that would be a benefit to ALL members of the BIA, ALL year, for several years.

I do realize that the agenda for this month is rather full but if you would add to the May meeting for discussion, would appreciate.

Happy to answer any questions you may have.

Chantal Lynch
business and property owner in the St Marys BIA
144/146 Queen Street East
St Marys ON N4X 1A2



Canadian Baseball Hall of Fame & Museum

**P.O. Box 1838 (140 Queen St. E.)
St. Marys, Ontario, Canada, N4X 1C2**

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Email: baseball@baseballhalloffame.ca**

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MINUTES

**CBHFM Board of Directors Meeting – 7:00am, Friday, April 27, 2018
Offices of Waghorn Stephens: 21 Wellington St. N., St. Marys, ON**

Present: Adam Stephens (Chair), Tammy Adkin, Jordan Schofield, Tony Little, Bob Stephens, Jeremy Diamond, Julie Docker-Johnson

Ex-Officio: Lynn Hainer (Council Rep)

Staff: Scott Crawford, Director of Operations, Jocelyne Gall, Finance & Administration Coordinator

Regrets/Absences: Mike King, Mike Wilner, Liam Scott, Jody Hamade, Al Stratthdee, Harry Gundy

Call to Order: Adam Stephens called the meeting to order

Declaration of any conflict of interest:

- None

Additions to Agenda:

- None

Approval of Agenda:

Moved by Tammy Adkin; **Seconded** by Julie Docker-Johnson:

THAT the CBHFM Board of Directors approves the agenda as circulated by email and distributed before this meeting April 27, 2018.

Carried.

Approval of Minutes from March 23, 2018:

Moved by Bob Stephens; **Seconded** by Julie Docker-Johnson:

THAT the CBHFM Board of Directors approves the minutes of the board meeting that was held on March 23, 2018 as circulated by email and distributed before the meeting.

Carried.

Business arising from the minutes of March 23, 2018:

None

New Business:

None

Committee Reports:

a. Management

- No report

b. Finance:

- Jordan reviewed the Financial report

c. Resource Development

- No report

d. Outreach

- Jeremy and Mike W have put together a skeleton outreach plan
- The most recent e-blast has gone out with a new and improved look and had a 20% open rate

e. Nominating

- Adam has been in contact with someone who works at BMO Capital Markets who has interest in joining the Board

f. Governance

- No report

g. Museum Renovations

- Canada Cultural Spaces declined the Hall's application; Tammy is seeking clarification.
- The project is currently on time and on budget and is ready for BaAM to begin working on the interior exhibition space
- BaAM has re-forecasted their quote to include the welcome area and gift shop, increasing the budget by \$50,000. They will go ahead with the previously planned elements first, and the Board will consider the additional cost following an analysis of the

2

- current financial status of the project.
- The issue of mold, asbestos and the offices need to be addressed as well. Tammy requested that 3 quotes for the mold and asbestos be obtained before the May meeting
- Tony recommended that an update be sent to key stakeholders

Operations Report

a. Events/Induction

- Induction:

- The Thursday night event, in partnership with Pitch Talks has been launched.
- There is space for 4 golf teams
- A new Induction banner is being produced; paid for in part by the Town
- Julie would like to see the schedule of events designed and printed professionally

b. Site Updates

- The grounds crew has begun work and will have the fields ready for the upcoming Quebec games and Blue Jays clinic
- During the ice storm, a tree fell and damaged an outfield fence. The tree has been removed and the fence fixed.

c. Museum Updates

- Laurie Bannon will be starting in the role of Finance & Administrative Coordinator and Jocelyne will continue on in the role of Database Administrator
- The Board expressed its appreciation to Jocelyne for her exceptional work and dedication to the Hall
- Don McDougall came to visit with Scott; he seems pleased with the progress

d. Baseball News

- Inductees Rusty Staub and Ron Hayter passed away
- The annual Tip Trip went well

New Business

- None

In Camera

- None

Motion to Terminate – Julie Docker-Johnson at 8:25 am

Next CBHFM Board Meeting dates:

Temporary meeting location: Waghorn Stephens office: 21 Wellington St. N., St Marys. at 7am

May 25 (AGM), June 22, July 27, August 24, September 28, October 26, November 23, December 28



MINUTES
Community Policing Advisory Committee

May 23, 2018
9:00am
Council Chambers, Town Hall

Committee Members Present: Peter McAsh
Mayor Strathdee
Fred Stam
John McGarry
Councillor Don Van Galen

OPP Present: Detachment Commander Rob Scott

Staff Present: Brent Kittmer, Board Secretary

1. CALL TO ORDER

Chair Don Van Galen called the meeting to order at 9:00 am.

2. DECLARATION OF PECUNIARY INTEREST

None declared.

3. ADDITIONS TO THE AGENDA

B. Kittmer added a review of the Stratford Community Resources Officer job description under Item 9.1. There were no other additions to the agenda.

4. ADOPTION OF MINUTES FROM PREVIOUS MEETING

Moved By J. McGarry

Seconded By F. Stam

THAT the minutes of the April 18, 2018 Community Policing Advisory Committee be approved and signed by the Chair and Secretary.

CARRIED

5. BUSINESS ARISING FROM MINUTES

None.

6. DELEGATIONS

None.

7. REPORTS

7.1 POLICE MONTHLY STATISTICS

R. Scott presented the April OPP Monthly report, reported on St. Marys specific Activities, and responded to questions from the Committee.

R. Scott updated the Committee that officers have looked into the recent graffiti issues, but have not received any reports from the public or calls for service. Communications Officer Brown will send the Town some information on how to create messaging around graffiti tagging.

In response to questions about cannabis legalization, R. Scott advised the Committee that, absent direction from the Federal or Provincial governments, the OPP are continuing to train officers on drug recognition, field sobriety tests, and drug investigations.

Moved By F. Stam

Seconded By P. McAsh

THAT the April 2018 OPP Monthly report be received for information.

CARRIED

7.2 MONTHLY FALSE ALARM REPORT

Moved By Mayor Strathdee

Seconded By F. Stam

THAT the March 2018 False Alarm report be received for information.

CARRIED

8. CORRESPONDENCE

None.

9. OTHER BUSINESS

9.1 Review of Stratford Community Resources Officer Job Description

B. Kittmer presented the Committee with a draft job description received from the Stratford Police Service. The job description was for the Community Resource Officer to be assigned to the Town on a full time basis. The Committee provided the following comments:

- Is it the plan for the CRO to be the main contact for town Staff and Council to contact? If so, should that be reflected in the JD?
- Is it the plan for the CRO to come to CPAC meetings? If so, should that be reflected in the JD?
- Under “Knowledge” should the Criminal Code be listed, or is that just a given?
- Will the CRO be the main contact to sit at the table for Town emergency planning activities? If so, should that be reflected in the JD?
- Can we add an expectation for the CRO to regularly liaise with Town senior staff (in particular Public Works), and to periodically attend our Senior Management Team meetings?
- Is it your plan that our first point of contact should be the CRO before we contact You (i.e. try to resolve any policing matters through the CRO first before contacting the Chief?).
- As a part of the transition process, the Town should consider an extension in its answering system that directly contacts the Stratford Police Service and a regular “284” number that contacts the police as a non-emergency line.

10. **UPCOMING MEETINGS**

Chair Van Galen announced the upcoming meetings as listed on the agenda.

Members Peter McAsh and John McGarry provided their regrets for the June 20, 2018 meeting.

11. **ADJOURNMENT**

Moved By Mayor Strathdee

Seconded By F. Stam

THAT the May 23, 2018 meeting of the Community Policing Advisory Committee be adjourned at 9:53am.

CARRIED

Chair Don Van Galen

Brent Kittmer, CAO / Clerk, Board Secretary



Minutes

Economic Development Advisory Committee

Regular Meeting

May 30, 2018

7:30 am

Council Chambers, Town Hall

Members Present: Cathy Forster
Deb Hotchkiss
Andrew Atlin
Council Present: Al Strathdee, Carey Pope
Staff Present: Kelly Deeks-Johnson, Economic Development Manager
Absent: Matt Staffen, Tammy Adkin

1. CALL TO ORDER

The Chair called the meeting to order at 7:36 am.

3. AMENDMENTS AND APPROVAL OF AGENDA

Moved By Cathy Forster

Seconded By Carey Pope

THAT the May 30th EDAC agenda be accepted as presented.

CARRIED

5. ACCEPTANCE OF MINUTES

Moved By Al Strathdee

Seconded By Cathy Forster

THAT the April 25th EDAC minutes be approved and signed by the Chair.

CARRIED

6. BUSINESS ARISING FROM MINUTES

A. Atlin noted that there have been a few cases on the news of cyber-attacks and that his personal business experienced this threat. He would like EDAC to look at hosting a community info session about cyber-attacks. K. Deeks-Johnson will connect with Quadro about leading this session.

7. NEW BUSINESS

7.1 Goals for EDAC for remaining term

D. Hotchkiss noted an important focus would be keeping people here to live and work. A. Atlin would like to see quarterly meetings with all business owners and talk about progress.

The committee also discussed the role of the BIA and its role with economic development.

The Chair asked members to develop five recommendations to council for the remaining term and these will be discussed at the next meeting.

7.2 Sale of Shepherd's Gourmet Dairy to Saputo

7.2.1 EDAC procedure for welcome and congratulations

The committee agreed to a process for acknowledging the changeover through a letter welcoming Saputo, signed by Mayor and CAO. Letter will include important contacts and information for their records.

7.3 Report on building and development

The Chair requested quarterly correspondence for building and planning.

8. Other Business

D. Hotchkiss informed the committee that Partners in Employment offers training incentives. The Chair noted that this information is unknown to many. These incentives provide funds to businesses. They have \$22, 000 annually to give out, about \$4,000 per business. And employers can get new staff and receive funding for hiring people who need training.

9. UPCOMING MEETINGS

The committee decided to meet earlier to discuss recommendations. Date has been changed to June 13 at 7:30 am in Council Chambers.

10. ADJOURNMENT

Moved By Carey Pope

Seconded By Cathy Forster

THAT this meeting of EDAC be adjourned at 9:00 am.

CARRIED

Chair Atlin



MINUTES

Heritage St. Marys

May 12, 2018

9:00am

St. Marys Museum

177 Church Street South

Members Present: Carey Pope
Janis Fread
Sherri Gropp
Stephen Habermehl
Paul King
Larry Pfaff
Mary Smith
Michelle Stemmler
Council Present: Carey Pope
Members Absent: Al Strathdee
Others Present: Dan Schneider, Heritage Conservation District Advisory Committee
Staff Present: Trisha McKibbin, Director of Corporate Services

1. CALL TO ORDER

Chair Larry Pfaff called the meeting to order at 9 a.m.

2. DECLARATION OF PECUNIARY INTEREST

None.

3. AMENDMENTS AND APPROVAL OF AGENDA

Item 8.8.2 – sign permit application for 6 Jones Street East – was added to the agenda.

Moved By Sherri Gropp

Seconded By Paul King

THAT the May 12, 2018 Heritage Committee agenda be accepted as amended.

CARRIED

4. DELEGATIONS

Dan Schneider was present to support the discussion concerning public art – Agenda item 10.4.

5. CORRESPONDENCE

5.1 CHOnews

Hard copies of CHOnews for filing in the Reference Room at the Museum.

6. AMENDMENT AND ACCEPTANCE OF MINUTES

Moved By Mary Smith

Seconded By Paul King

THAT the April 14, 2018 Heritage Committee minutes be accepted as presented.

CARRIED

7. BUSINESS ARISING FROM MINUTES

All items covered in the agenda.

8. REGULAR BUSINESS

8.1 Heritage Conservation District Update

A meeting of this committee is scheduled in the near future. At the last meeting of the HCDAC, the heritage permit request from Stephen Clark at 26 Water Street South was approved subject to discussions with staff re: roofing material and general appearance.

8.2 Municipal Register, Part 1 - Designations/designated property matters

8.2.1 VIA Station

The interior work on the Via office has been completed. The Studio Gallery's new exhibit is in place and opened Friday, May 11.

8.2.2 Junction Station

A small parcel of land in the north part of this town-owned property has been sold to Quadro Communications.

8.2.3 McDonald House

Nothing to report

8.2.4 Andrews Jeweller

Nothing to report

8.2.5 Public Library

Nothing to report

8.2.6 Old Water Tower

Nothing to report

8.2.7 Pumphouse

Work is underway on new water storage facility.

8.2.8 Town Hall

A heritage permit application has been submitted to replace the existing steel washroom door on the lower level, west side, with a wood-grain, fibreglass composite door meeting all accessibility requirements.

Moved By Michelle Stemmler

Seconded By Janis Fread

THAT the St. Marys Heritage Committee recommends approval of the Heritage Permit application to replace the public washroom exterior door on the lower level, west side.

CARRIED

8.3 Municipal Register, Part 2 - List of Significant properties

Nothing to report.

8.4 Heritage Grant Applications

8.4.1 123 Queen Street East

An application for a Heritage Grant has been received to replace the roof, damaged by recent ice and wind storms, on 123 Queen Street East, Lyric Flowers.

Moved By Sherri Gropp

Seconded By Michelle Stemmler

THAT the Heritage Committee recommends approval of the Heritage Grant application for roof replacement at 123 Queen Street East.

8.4.2 127 Queen Street East

An application for a Heritage Grant has been received to replace the roof damaged by recent ice and wind storms on 127 Queen Street East, McPhail's Feed Services.

Moved By Stephen Habermehl

Seconded By Janis Fread

THAT the Heritage Committee recommends approval of the Heritage Grant application for roof replacement at 127 Queen Street East.

CARRIED

8.5 Properties of interest or at risk (not necessarily designated)

8.5.1 West Ward School – 121 Ontario Street

Council has approved the zoning bylaw amendment for the property.

8.5.2 North Ward School site

The municipality is waiting for applicant's response. A delegation had appeared at a recent council meeting suggesting the importance of requiring the developer to meet a deadline for the next proposal. Council is requesting an opinion from its planner and its lawyer whether Council has the authority to set a deadline for the developer's next proposal. The planner and lawyer are to respond by June 12th.

8.5.3 Repairs to Flood Wall

The start date remains weather-dependent.

8.6 CHO Report

Hard copies of the Spring issue of CHOnews have been received as noted under Correspondence.

Paul will be attending the 2018 Ontario Heritage Conference in Sault Ste. Marie June 7-9. He has also attended planning sessions for the 2019 Conference in Goderich/Bluewater.

8.7 Homeowner/Property owner letters

A suggestion was made that a letter be sent to the new owners of 105 Queen Street West, the Ingersoll house, a designated property. Staff will provide Paul with the names and address.

8.8 Sign Bylaw

The revised Sign Bylaw is yet to be presented to the Strategic Planning Committee. In the meantime, there are two sign bylaw applications within the HCD to be reviewed by the Heritage Committee.

8.8.1 162 Queen Street East

Moved By Mary Smith

Seconded By Michelle Stemmler

THAT the Heritage St. Marys Committee recommends approval of the replacement sign at 162 Queen Street East with a wood panel back and raised wood letters, illuminated by gooseneck lighting fixtures, on the condition that the new sign fills the space over the commercial door and window and does not obscure the existing cornice.

CARRIED

8.8.2 6 Jones Street East

This application requests approval to replace the current sign with another sent to the franchise holder by corporate headquarters. The new sign is back lit and would be in contravention of the sign guidelines for the HCD. However, the current sign is also equipped to be backlit but the franchise holder has never activated the lights. He would prefer not to activate the lighting in the new sign either but it is unknown if this would be acceptable to corporate headquarters.

Moved By Stephen Habermehl

Seconded By Sherri Gropp

THAT the St. Marys Heritage Committee recommends the approval of a replacement sign at 6 Jones Street East on the condition that it will not be backlit.

CARRIED

8.9 Cultural Planning: Strategic Plan

Trisha reported that to help effectively meet the various goals of the Strategic Plan, she will once again have responsibility for all heritage matters, including the Museum and any new heritage initiatives. Her role as staff liaison for Heritage St. Marys remains unchanged.

9. Council Report

9.1 FM96 Radio Contest

The special breakfast to celebrate St. Marys winning the FM96 contest will be held Friday morning, May 18 on the Water Street Bridge.

9.2 Ministry of Agriculture and Rural Affairs Grant

At the April meeting, Mayor Al Strathdee announced that the town had received a \$44,000 grant from the Ministry of Agriculture and Rural Affairs administered by AMO to be used for downtown revitalization initiatives. Council has decided how to spend this money: \$10,000 for facade improvements; \$14,000 for Gateway improvements; \$20,000 toward the proposed public art program.

10. OTHER BUSINESS

10.1 Heritage Festival 2018

Larry clarified some of the tour information presented at the April meeting. As well as bus tours, there will be a walking tour starting at the Water Street Bridge and following the roadway around Milt Dunnell Field. This route will be quieter and will avoid the noise and traffic on Queen Street.

10.2 Self-guided Walking Tours - Building Stories App (Heritage Resource Centre)

At the April meeting, Paul agreed to do more research on self-guided tours of St. Marys using cell phones. He has had contact with the Heritage Resource Centre at the University of Waterloo where there is an existing app called Building Stories. Paul prepared a report on the benefits of adapting this program to our needs and to consider the challenges in getting it up and running. Trisha has some previous experience with this program. She and Paul will do further research and have a report at a subsequent meeting.

10.3 Official Plan Review

Nothing to report.

10.4 Public Art

A Public Art committee is being formed but has yet to meet formally. Dan Schneider will be a member of this ad hoc committee and attended the meeting to support Carey's role in the Heritage Committee discussion. Paul King is also a member. There are two components of the public art project for the downtown:

1. Art in the back alleys, running parallel to Queen on both north and south sides;
2. Murals for blank walls that might include the east facade of 174 Queen Street East and the south facade of 36 Water Street South.

There was considerable discussion about style, scope, theme, reversibility. There was general agreement that art in the back alleys would be worth trying. The committee did not reach consensus about murals on large wall surfaces.

Carey is glad that the BIA is supporting this project and encouraged by the additional funds from the recent grant (9.2) She would like to see installations as early as this summer. However, she pointed out that there are various steps that must be taken. The committee must draft a request for proposals. Artists would then need time to submit proposals. The committee would review the submissions, evaluating them using criteria that also have to be developed and approved.

Before work to install the art begins, there would need to be approval by the owner of a private building and review and recommendations from the HCDAC since these properties are all within the Heritage District.

Council would have the final say.

Discussion on this topic will continue at subsequent meetings.

11. UPCOMING MEETINGS

Saturday, June 9, 2018, 9:00 a.m., St. Marys Museum

12. ADJOURNMENT

Moved By Stephen Habermehl

THAT this meeting of the Heritage Committee adjourn at 10:20 a.m.

Larry Pfaff, Chair

Meeting Minutes

St. Marys Museum Board

Location: St. Marys Museum

Date: Wednesday, May 9, 2018 at 7:00pm

Committee members in attendance:

Chet Greason, Doug Fread, Katherine Moffat, Councilor Tony Winter

Regrets: Brian Busby and Krissy Nickle

Also in attendance:

Amy Cubberley, Staff Liaison

1.0 Welcome and Call to Order

Chet Greason called the meeting to order at 7:15 p.m.

2.0 Declaration of Pecuniary Interest

The agenda had been circulated to members. Following review, no member had a disclosure of pecuniary interest.

3.0 Correspondence

4.0 Approval of agenda

Staff requested that item 7d: Artifact Deaccessioning be added to the agenda.

Moved by: Doug Fread

Seconded by: Katherine Moffat

That the Museum Board approve the agenda as amended.

CARRIED

5.0 Approval of minutes

The minutes of the April 10, 2018 meeting had been circulated.

Moved by: Tony Winter

Seconded by: Katherine Moffat

That the Board approve the minutes of April 10, 2018 as presented.

CARRIED

6.0 Old Business

7.0 New Business

a. Collections Management Policy

Moved by: Tony Winter

Seconded by: Doug Fread

That the St. Marys Museum Board approves the St. Marys Museum Collections Management Policy as presented.

CARRIED

Moved by: Katherine Moffat

Seconded by: Doug Fread

That the St. Marys Museum Board delegate authority to the Curator/Archivist to change department and position titles within all Museum policies to reflect the recent departmental realignment.

CARRIED

- b. Council report: Verbal report given by Councilor Winter.
- c. Museum Report: A. Cubberley spoke to the Museum report in the agenda package.
- d. Artifact Deaccessioning

Moved by: Katherine Moffat

Seconded by: Doug Fread

That the St. Marys Museum Board approves the deaccessioning of artifacts 973.145.16, 973.145.15 and 973.165.1

CARRIED

8.0 Next meeting

Wednesday, June 13, 2018 at 7:00pm

9.0 Adjournment

Moved by: Katherine Moffat

That the Board adjourns this meeting.

CARRIED

Chet Greason adjourned the meeting at 7:48 pm.

Chet Greason, Vice-Chair St. Marys Museum Board

Planning Advisory Committee

Monday, May 28, 2018

A meeting of the St. Marys Planning Advisory Committee was held on Monday, May 28, 2018, in the Boardroom, Municipal Operations Centre, 408 James Street South, St. Marys, Ontario at 6:00 pm to discuss the following.

1.0 Call to order

2.0 Declaration of Pecuniary Interest

3.0 Approval of Minutes

Regular Meeting of April 23, 2018

Motion:

Second:

4.0 Application Z01-2018 to Amend the Town of St. Marys Zoning By-law Z1-1997, as amended

Part Lot 17, Concession 15, as Part 8 on Reference Plan 44R-3503

45 Thames Road North, St. Marys

Applicant: The Corporation of the Town of St. Marys

5.0 Next Meeting

6.0 Adjournment

Present:

- Chairman Councillor Don Van Galen
- Councillor Jim Craigmile
- Member W. J. Galloway
- Member Dr. J. H. Loucks
- Mark Stone, Planner
- Susan Luckhardt, Secretary-Treasurer PAC

Regrets:

- Member Steve Cousins
- Member Marti Lindsay
- Grant Brouwer, Director of Building and Development

1.0 Call to Order

Chairman Don Van Galen called the meeting to order at 6:00 pm.

2.0 Disclosure of Pecuniary Interest:

Member W. J. Galloway declared pecuniary interest with respect to Agenda Item #4 as he is a member of the service club acquiring the subject property from the Town.

3.0 Approval of Minutes:

Minutes dated April 23, 2018

Motion by: Councillor Jim Craigmile

Seconded by: Member W. J. Galloway

THAT the Minutes dated April 23, 2018 be approved as circulated.

MOTION CARRIED

4.0 Application Z01-2018 to Amend the Town of St. Marys Zoning By-law Z1-1997, as amended

**Part Lot 17, Concession 15, as Part 8 on Reference Plan 44R-3503
45 Thames Road North, St. Marys**

Applicant: The Corporation of the Town of St. Marys

Brent Kittmer, CAO-Clerk, was present as agent for the application submitted by The Corporation of the Town of St. Marys.

Mark Stone introduced the application. The property is currently vacant and was formerly used as a rail corridor. The Town has declared the property to be surplus to its needs and is seeking to sell the property. Having entered into an Agreement of Purchase and Sale to sell the property, there is a condition that the Town rezone the property for institutional purposes. The location and size of the building and parking area will be determined at the site plan approval stage. A conceptual site plan has been submitted with the zoning amendment application.

The property is designated Residential in the Town's Official Plan. Policies under Section 3.1.2.17 of the Official Plan state that "institutional uses of land such as hospitals, churches, schools, parks, senior citizen homes etc. are permitted in the 'Residential' designation". The property is currently zoned Residential Development – RD in the Towns' Zoning By-law Z1-1997. The zoning by-law amendment application will rezone the property to the Institutional Zone – I. The zoning by-law amendment will include site specific provisions to limit permitted uses to a private club, church, government administration office, day nursery, nursery school, museum, meeting room facility, passive recreational uses and park; and will reduce the maximum building height to 7.0 metres. An application for site plan approval has not been submitted to the Town at this time. Prior to development of the property an application for site plan approval will be required.

Comments received from the Upper Thames River Conservation Authority dated May 22, 2018 stated that they have no objection to the application.

Brent Kittmer spoke to the application on behalf of the applicant, The Corporation of the Town of St. Marys. The property sale is scheduled to close on September 12, 2018 and the Town is rezoning the property on behalf of the prospective purchaser.

Chairman Don Van Galen asked for questions from PAC members.

Member Dr. J. H. Loucks asked why the Institutional zone has been requested for the property. Brent Kittmer responded that the potential purchaser is the Masonic Lodge and the application for rezoning is to permit a future Masonic meeting hall on the site which would fall under an Institutional use.

Member Dr. J. H. Loucks asked about the positioning of the property boundaries in relation to adjacent buildings. Brent Kittmer stated that the property will be surveyed. There currently is some encroachment by adjacent properties of moveable buildings which will be relocated to correct the encroachment. Mark Stone added that there will be minimum setbacks applied to the proposed development on the property. It was clarified that the overview provided on the Notice is an aerial view, not a survey of the property.

Chairman Don Van Galen asked for questions from members of the Public.

Murray Richardson, Unit 1, 25 Thames Road North asked if there would be an opportunity under the requested Institutional zoning to use the property for weddings and events that could generate noise. Mark Stone responded, stating that the application does include the use as a private club as the Masonic Lodge has asked for some meeting space. Potentially the space could be rented out for small events. Any usage on the exterior of the property is not included under the zoning by-law. There are other by-laws within the Town to control noise, etc. Mr. Richardson's concerns will be noted. This is a review meeting and comments received through this meeting will be presented to Council at the statutory Public Meeting.

Frank Vermiere of Vermiere Farms, 1930 Perth Road 139 asked if the selling price of the property is public information as they had submitted a bid for the land. Frank Vermiere stated that they currently farm adjacent lands and are still interested in purchasing this land for use as part of a future project. Without this land, their potential development land is essentially land locked. Brent Kittmer responded and provided information regarding the history of the property sale. The sale price for the lands is public knowledge; the lands are being sold for \$50,000. The opportunity to bid on the lands has now passed.

Sue Griffiths, 55 Thames Road North asked about privacy for their property located immediately to the north of the subject lands. Mark Stone stated that the Town zoning by-law provides for privacy through setbacks and buffering. The site plan application process will address issues such as this.

There were no further questions from the public.

MOTION:

Application Z01-2018 to Amend the Town of St. Marys Zoning By-law Z1-1997, as amended:

Motion by: Councilor Jim Craigmile

Seconded by: Member Dr. J. H. Loucks

THAT based on the review of the Application and comments received thus far, Planning Advisory Committee endorses in principle Application Z01-2018 from The Corporation of the Town of St. Marys for a Zoning By-law Amendment affecting 45 Thames Road North, St. Marys, and

Committee recommends to St. Marys Town Council that it proceed with the statutory public meeting to be scheduled for June 26, 2018.

MOTION CARRIED

5.0 Next Meeting

T.B.A.

6.0 Adjournment:

Motion by: Councillor Jim Craigmile

Seconded by: Member Dr. J. H. Loucks

THAT the meeting adjourn at 6:17 pm.

MOTION CARRIED

Councillor Don Van Galen
Chairman

Susan Luckhardt
Secretary-Treasurer

Copies to:

- PAC Members
- CAO-Clerk
- Council
- Mark Stone, Planner



MINUTES

Heritage Conservation District Advisory Committee

May 14, 2018

6:15p.m.

Meeting Room, St. Marys Public Library

Members Present: Mike Bolton
Barb Tuer
Bill Galloway
Tony Winter
Member Regrets: Dan Schneider
Stephen Habermehl
Staff Present: Trisha McKibbin

1. CALL TO ORDER

Chair Barb Tuer called the meeting of the Heritage Conservation District Advisory Committee to order at 6:20pm.

2. DECLARATION OF PECUNIARY INTEREST

None declared.

3. AMENDMENTS AND APPROVAL OF AGENDA

Moved By Bill Galloway

Seconded By Mike Bolton

THAT the May 14, 2018 Heritage Conservation District Advisory Committee agenda be accepted as presented.

CARRIED

4. DELEGATIONS

None.

5. ACCEPTANCE OF MINUTES

Moved By Mike Bolton

Seconded By Bill Galloway

THAT the April 23, 2018 Heritage Conservation District Advisory Committee Minutes be accepted as presented.

CARRIED

6. BUSINESS ARISING FROM MINUTES

6.1 Public Art Update

In Dan Schneider's absence, staff provided an update on the public art discussion that occurred at the Heritage Committee meeting on Saturday, May 12, 2018. The discussion centred on how art is subjective and that there will be varying opinions on what is "good" art. The primary location discussed for the public art include the back alley from Church St. to Wellington St., with two additional locations - on the large brick wall next to the Mac's Milk parking lot on Queen Street East, and the second on Water St South, where the Independent Newspaper is located.

7. Heritage Permit Applications

7.1 6 Jones Street East

Moved By Bill Galloway

Seconded By Tony Winter

THAT the Heritage Conservation District Committee recommends issuance of a heritage permit on the basis that:

- 1) The sign is not back-lit
- 2) The sign is situated in the same location as the current sign.

CARRIED

7.2 162 Queen Street East

THAT the Heritage Conservation District Committee recommends issuance of a heritage permit for the following items:

- 1) Paint window trim on second level of the building
- 2) Replace exiting sign with a sign consisting of a wood panel back with raised wood letters, located above the business entrance and window and not covering any architectural features including the cornice.
- 3) Sign to be illuminated by goose neck lighting.
- 4) The replacement of the lower wood panels, located beneath the picture window, with wood panels that match the existing panels in look and design.
- 5) The replacement of the existing front steps with new wood steps that match the existing wood step and which leave the existing limestone step visible.

The Committee cannot issue a heritage permit for the proposed changes to the picture window and entrance at this time for the following reasons:

- 1) Sufficient detail has not been provided as to what specific changes are being proposed to the store and residential entrances as well as specific detail about the proposed changes to the window. The Committee would recommend a detailed description (or sketches) of the changes proposed to each entrance (are the doors being replaced and if so with what design and material, are the frames or transom windows above or to the side of the windows being altered, etc.) and a full description of the changes to the picture window (is it one large piece of glass with mullions on the inside or outside, is there glass in each frame or another material, is the entrance still to be recessed, etc.)
- 2) The multi-pane window is not in keeping with the architectural features of the building.

8. OTHER BUSINESS

None.

9. UPCOMING MEETINGS

Monday, June 11, 2018, 6:15pm at the St. Marys Museum

10. ADJOURNMENT

Moved By Bill Galloway

Seconded By Mike Bolton

THAT this meeting of the HCDAC adjourn at 6:55 p.m.

CARRIED

DRAFT



MINUTES

Heritage Conservation District Advisory Committee

May 23, 2018

6:15p.m.

Council Chambers, Town Hall

Members Present: Stephen Habermehl
Dan Schneider
Barb Tuer
Bill Galloway
Tony Winter
Member Regrets: Mike Bolton
Others Present: Councillor Pope
Staff Present: Trisha McKibbin

1. CALL TO ORDER

Chair Barb Tuer called the meeting to order at 6:17pm.

2. DECLARATION OF PECUNIARY INTEREST

None.

3. AMENDMENTS AND APPROVAL OF AGENDA

Moved By Bill Galloway

Seconded By Dan Schneider

THAT the May 23, 2018 Heritage Conservation District Advisory Committee agenda be accepted as presented.

CARRIED

4. DELEGATIONS

Councillor Pope was in attendance to provide information on the hanging of Canadian Flags in the downtown core and to seek comment from the HCDAC Committee on the flags. Councillor Pope provided the history of the flag program; how building owners volunteer to participate in the program; the length of time the flags are flown; and how at a recent BIA meeting the flags were discussed and it was suggested that the HCDAC be contacted for comment.

5. ACCEPTANCE OF MINUTES

None.

6. BUSINESS ARISING FROM MINUTES

None.

7. PERMITS

None.

8. OTHER BUSINESS

8.1 Canadian Flags on Queen Street

The HCDAC committee discussed the flag program and upon reviewing the guidelines within the Heritage Conservation District Plan, specifically *Section 6.2*, it was determined that a flag pole is considered a minor temporary installation and does not require a heritage permit.

9. UPCOMING MEETINGS

Monday, June 11, 2018, 6:15pm at the St. Marys Museum

10. ADJOURNMENT

Moved By Bill Galloway

Seconded By Stephen Habermehl

That this meeting of the HCDAC Committee be adjourned at 6:44pm.

CARRIED

Barb Tuer, Chair



Senior Services Board Meeting Minutes

Date: April 17, 2018

Time: 3:30 pm

Board members present

Jane Cousineau, Donna Simmons, Don Vanstone, Owen O'Brien, Joyce Vivian, Jenny Mikita, Rick Lyons, Jim Craigmile

Regrets

Donna Kurchak, Isa Rabbets

1. Welcome & Introduction of Committee Members

Welcome and called to Order at 3:30 pm by Donna Simmons, Vice Chair

2. Approval of Agenda

Motion to approve: Don Vanstone

Seconded by: Jane Cousineau

3. Disclosure of Interest

None

4. Approval of March Minutes

Motion to approve: Rick Lyons

Seconded by: Joyce Vivian

5. Business Arising from the Minutes

5.1 New Ideas/Program Feedback/Suggestions: A concern about the use of disposable dishes for coffee and lunch was expressed. Staff explained that the Kitchen dishes had been rented for a large event. All dishes were needed and staff was doing an inventory. Staff explained that this is often the process and is sporadic but will look into options to give more notice to customers or provide a suitable alternative.

Joyce Vivian asked if it would be possible to have coffee/tea available in the Lion's Den during the Quilt Show next week for those that stop in for coffee after programs such as Group Fitness and Aqua Fit. Staff will speak with Guest Services to ensure that coffee/tea is available for purchase for those that are interested in staying.

It was suggested that someone contact the Independent Newspaper to ask if they could drop the Independent at the Newspaper. Staff will reach out to the Independent.

5.2 Provincial Funding Update: The Friendship Centre Active Living Centre grant request has been submitted to the Ministry of Citizenship and Immigration. Staff have applied for more operational funding and are waiting to see if the request has been approved.



5.3 East Entrance Update – The final report has been submitted to New Horizons. Staff surveyed regular users to gather feedback on the project. The response was very positive with many stating the renovations were needed and since completed they have noticed a significant change in the temperature of the Main Hall in the Friendship Centre.

5.4 Friendship Centre New & Notes – Staff are working with Corporate Communications to facilitate changes to the newsletter. A new program to assist with the design of the newsletter has been purchased. Staff will receive training later in May on the new program. Some professional photography has been acquired based on the feedback that participants indicated they would like to see more photos of Friendship Centre programs used in promotional materials. Page turning soft wear has been purchased and will be shared with Corporate Communications for better access to this publication on the Town Website.

6. New Business

6.1 Program Report: See attached program report for details on upcoming programs.

6.2 Seniors Month – June is seniors month. Staff will submit a proclamation to Council in the upcoming weeks. The Friendship Centre will host their annual Senior's month BBQ. If anyone has suggestions or would like to participate in a special initiative please talk to Jenny.

6.3 2018 Pickleball Rates – Staff informed the group that the Pickleball program advisory group is currently looking at rates for 2018/19.

6.4 Friendly Feud – The Friendship Centre will host the Friendly Feud in May and are looking for teams of five participants to join a team. Please see Hillary if you are interested in submitting a team.

7. Other Business

None

8. Liaison Reports

8.1 Travel Club – A suggestion to take a trip the Blyth Festival was given. Staff will look into it.

8.2 Fundraising Committee – None

8.3 Council Update- Councilor Craigmile updated the group on various projects throughout the Town.

9. Next Meeting – May 15, 2018 3:30 p.m.

10. Adjournment – 3:30pm



Senior Services Board Meeting Minutes

Date: May 15, 2018

Time: 3:30 pm

Board members present

Jane Cousineau, Donna Simmons, Don Vanstone, Owen O'Brien, Joyce Vivian, Jenny Mikita, Rick Lyons, Jim Craigmile, Donna Kurchak, Isa Rabbets

Regrets

1. Welcome & Introduction of Committee Members

Welcome and called to Order at 3:30 pm by Isa Rabbets, Chair

2. Approval of Agenda

Motion to approve: Don Vanstone

Seconded by: Jane Cousineau

3. Disclosure of Interest

None

4. Approval of April Minutes

Motion to approve: Rick Lyons

Seconded by: Joyce Vivian

5. Business Arising from the Minutes

- 5.1 New Ideas/Program Feedback/Suggestions: Staff noted some positive feedback received from Little Falls Public School with regards to their partnership with the Pickleball and Shuffleboard programs as well as from many individuals who thoroughly enjoyed the April 21st Scrap-a-thon.
Staff noted that negative feedback was received from one of the card programs with regards to changes made to their program location in order to accommodate the Peacemakers Quilt Show.
- 5.2 Provincial Funding Update: Home Supports Multi-Sector Accountability Agreement has been signed back by the LHIN. St. Marys Home Support Services is no longer funded \$10,500 to subsidize medical transportation. St. Marys Mobility Services will be funded directly for this purpose.

6. New Business

- 6.1 Program Report: See attached program report for details on upcoming programs.
- 6.2 Pickleball Lines: A report will be presented at Council on May 22 with the recommendation that Pickleball lines are painted on two of the four existing tennis courts. The report is a follow up from the recommendation given by the Recreation Master Plan.



- 6.3 PRC 10th Anniversary: The Friendship Centre will be participating in the Pyramid Recreation Centre's 10th Anniversary on June 2nd as a participant in the Program Open House. This event will feature an evening concert by local talent Thorne and Roses as well as Juno Award winning group The Wilkinson's.
- 6.4 Senior Services Meeting Schedule – July/August: The Senior Services board has not traditionally met during the summer months in past years. The group discussed the need to meet during the summer and was decided to break for July and August. It was decided that the June meeting would be moved from June 19 to June 26th to accommodate members who could not attend the original date.
- 6.5 Operation ToTo – The Town of St. Marys will be conducting their second emergency services exercise on May 31. The exercise will take place at the Pyramid Centre. There may be a number of agencies, including the Fire Department, EMS, and OPP on site to assist. The exercise will test the Pyramid Centre's ability to be utilized as an evacuation centre during an emergency.

7. Other Business

- 7.1 Senior Services Rates: Senior Services has reviewed current rates. Staff encourage members of the group to speak with the community to evaluate our membership to ensure they are in line with the community expectations. Staff will research area Centre's with similar features and the discussion will be picked back up in September.
- 7.2 Client Centre Care: Staff attended Council to present the Client Centered Care project and to seek approval to enter into agreements with fellow Community Support providers. The SPC committee has made a recommendation to Council to approve the signing of these agreements. Staff are currently sourcing insurance requirements and the costs associated.

8. Liaison Reports

- 8.1 Travel Club – The Toronto Aquarium trip was cut short due to falling ice from the CN Tower. The group left 45 minutes early but seemed satisfied with the quality of the trip.
- 8.2 Fundraising Committee – None
- 8.3 Council Update- Councilor Craigmile updated the group on various projects throughout the Town.

9. Next Meeting – June 26, 2018 at 3:30 p.m.

10. Adjournment – 3:30pm

Meeting Minutes

AD-HOC Committee for Truck Traffic Concerns

Location: Town Hall, Council Chambers

Date: Thursday, May 10, 2018, 10:00am

Committee members in attendance:

Councillor Osborne, Councillor Craigmile, Mayor Strathdee

Staff in attendance:

Brent Kittmer, Morgan Dykstra, Jed Kelly, Jenna McCartney

Members of the public in attendance:

Lorne Eedy (CCAHTT member), Dan Schneider (CCAHTT member), Paul Dunseith (CCAHTT member)

1.0 Call to Order

Chair Strathdee called the meeting to order at 10:00am.

2.0 Declaration of Pecuniary Interest

None declared.

3.0 Amendments and approval to the agenda

Moved By: Councillor Craigmile

Seconded By: Councillor Osborne

THAT the May 8, 2018 Ad-Hoc Committee for Truck Traffic agenda be accepted as presented.

CARRIED

4.0 Discussion Items

4.1 Downtown Truck Parking Ban

B. Kittmer noted that businesses were equally split in supporting a downtown truck parking ban during last year's survey. The proposed Parking and Traffic By-law prohibits trucks from parking on any streets or in any municipal facility parking lot. The proposed by-law will be forwarded to Council in the near future for consideration.

4.2 Turn Restrictions in the Downtown Core

B. Kittmer stated that the recommendation of the CCAHTT members was brought forward to Strategic Priorities Committee as part of the preliminary Traffic and Parking By-law. In addition St. Marys Cement was consulted regarding the implications of the proposed prohibition. Council did not provide direction to staff to further pursue this policy.

D. Schneider sought clarification of how it is determined that nothing further would be investigated. CCAHTT members feel strongly that this is an important issue and requested that staff conduct further research on this matter.

CCAHTT members suggested that with time the ban would become widely known, and information could guide a GPS that there are no turns on Queen St. while headed north on Water Street so as to redirect trucks to Park Street.

D. Schneider suggested that there could be a trial of restricted turns on Queen Street and then staff would review the results.

B. Kittmer responded to Mr. Schneider that the recommendation from CCAHTT regarding restricted turns was brought forward to the Strategic Priorities Committee within a comprehensive staff report. Mr. Kittmer prefers not to conduct a trial unless detailed research of unintended consequences is completed ahead of time as many variables would be present. Rather, Mr. Kittmer noted remedies from local trucking companies would be a good first step.

Councillor Osborne stated that if Council wishes to pursue a review on restricting turns within the downtown, it should consider gathering feedback through a traffic engineer's report.

L. Eedy suggested that enforcement of traffic violations needs to ensue. Mr. Eedy is concerned about traffic that is not local to St. Marys. Further, on behalf of the CCAHTT, a recommendation to put a load limit on the Church Street bridge and put an axle restriction on Victoria Bridge should be considered by Council.

D. Schnieder asked if the Town could introduce incentives to trucks to take alternative routes.

Mayor Strathdee stated that upon the implementation of the new policing service provider in November, there is an anticipation of a proactive approach to by-law enforcement.

Mayor Strathdee stated that this Council does not want to limit local businesses abilities to operate in this Town.

4.3 Tonne Restrictions on Heritage Bridges

B. Kittmer noted that this initiative has not been supported by Council at this time.

Members of the CCAHTT encouraged Council to seek out a second opinion from another engineering firm.

4.4 Installation of "No Engine Brakes" Signs

Jed Kelly noted that signs will be posted shortly.

4.5 Reconsideration of External to External Truck Traffic Ban

B. Kittmer confirmed that this initiative remained not supported by Council at this time.

4.6 Speed Rada Data Summary since December 2017

J. Kelly will emailed the data to the CCAHTT members in the near future.

4.7 Status of Police Change Over

B. Kittmer confirmed the implementation date has been officially announced as November 5, 2018.

4.8 Spring Pedestrian and Truck Traffic Counts

J. Kelly reported that the downtown count will be conducted by Traffic Solutions this summer. Staff are looking into the possibility of more formalized pedestrian crossing at DCVI. J. Kelly updated the committee on the proposed changes to the intersection at Queen Street East and Church Street.

4.9 Results of CCAHTT Survey of Downtown

D. Schneider presented a summary of the CCAHTT survey of downtown owners. There were 25 respondents, with the results indicating that downtown property owners are concerned about heavy truck traffic and think the Town should do more. D. Schneider will send the raw survey results. A second survey is planned for August or September of 2018..

4.10 CCAHTT Submission on Official Plan

CCAHTT members reported they have provided feedback to the Town's Planner during the Official Plan review. B. Kittmer confirmed the plan is for the Official Plan review to be completed in 2018.

5.0 Next Meeting

L. Eedy stated that the CCAHTT members were not anticipating a further meeting prior to the 2018 Municipal Election. Mayor Strathdee suggested that the group bring a delegation before council regarding the survey results.

6.0 Adjournment

Chair Strathdee adjourned the meeting at 11:31am.

BY-LAW 56-2018

THE CORPORATION OF THE TOWN OF ST. MARYS

Being a By-law to authorize the signing of an agreement between The Corporation of the Town of St. Marys and Ontario Clean Water Agency and to repeal by-law 51-2018.

- WHEREAS:** The Corporation of the Town of St. Marys commissioned a large capital project at the Wastewater Treatment Plant in 2009 which consisted of a major process change and large scale modification to the Biosolids handling process involving a centrifuge unit;
- AND WHEREAS:** The centrifuge requires routine maintenance to ensure its continued operation which has been provided by Alpha Laval as the original equipment supplier of the unit and as such is recommended as the sole source maintenance rebuild provider;
- AND WHEREAS:** At Council's regular meeting on May 22, 2018 it approved the sole source procurement of services;
- AND WHEREAS:** The Corporation of the Town of St. Marys deems it expedient to enter into an Agreement with Ontario Clean Water Agency for the purpose of clarifying and delineating the respective rights, obligations, payments and billing arrangements of and for the delivery of the project;
- THEREFORE:** The Council of the Corporation of the Town of St. Marys hereby enacts as follows:
- 1.** That By-law 51-2018 is hereby repealed.
 - 2.** That the Mayor and CAO / Clerk are hereby authorized to execute an Agreement on behalf of The Corporation of the Town of St. Marys between The Corporation of the Town of St. Marys and Ontario Clean Water Agency.
 - 3.** That a copy of the said Agreement is attached hereto this By-law, and to affix the corporate seal of the Corporation of the Town of St. Marys.
 - 4.** This by-law comes into force and takes effect on the final passing thereof.

Read a first and second time this 12th day of June, 2018.

Read a third and final time and passed this 12th day of June, 2018.

Mayor Al Stratheedee

Brent Kittmer, CAO / Clerk

BY-LAW 57-2018

THE CORPORATION OF THE TOWN OF ST. MARYS

Being a By-law to prohibit and regulate activities at the St. Marys Quarries.

- WHEREAS:** Section 10 of the *Municipal Act*, 2001, c.25, as amended, provides that a single-tiered municipality may pass by-laws respecting the health, safety and well-being of persons, and the services and things that the municipality is authorized to provide;
- AND WHEREAS:** Section 425 of the *Municipal Act*, 2001 provides that a municipality may pass by-laws providing that a person who contravenes a by-law of the municipality passed under this Act is guilty of an offence;
- AND WHEREAS:** Section 15 of the *Police Services Act*, R.S.O. 1990 authorizes the municipality to appoint persons to enforce the by-laws of a municipality and that Municipal Law Enforcement Officers are Peace Officers for the purpose of enforcing municipal by-laws;
- AND WHEREAS:** The Corporation of the Town of St. Marys is the owner of the lands, water and premises in the Town of St. Marys in the County of Perth and being composed of Lots 14 to 28 both inclusive, Wellington Street West and Water Street East is the said Town of St. Marys and being the land and water area commonly known as the St. Marys Quarries;
- AND WHEREAS:** The St. Marys West Quarry shall be referred to as the “Fishing Quarry” and the St. Marys East Quarry shall be referred to as the “Swimming Quarry”;
- AND WHEREAS:** The Council of the Corporation of the Town of St. Marys deems it in the public interest to prohibit and regulate specific activities in the St. Marys Quarries;
- NOW THEREFORE:** The Council of the Corporation of the Town of St. Marys hereby enacts as follows;

1.0. DEFINITIONS

1.1. For the purpose of this By-law:

“Fishing Quarry” means the quarry located on the West side of Water Street South, legally described as Plan 235 All Lots 11 to 15, 16 to 21, PT Lots 22 to 28, W/S/ Water St., as shown on Schedule A;

“Swimming Quarry” means the quarry located on the East side of Water Street South, legally described as Plan 235 Lots 17 to 28, 50 E/S Water Lots 17 to 28, W/S Wellington St Pt Berlin St, as shown on Schedule A.

2.0. GENERAL PROVISIONS

- (1) Permitted activities in the Swimming Quarry include swimming in designated areas solely during the times when municipal life-guards are on duty.
- (2) Permitted activities in the Fishing Quarry include fishing solely between the period of dawn to dusk. Activities such as boating and swimming are prohibited at all times.
- (3) Persons using the Fishing Quarry are limited to the trail, platform and stone outcrop.

3.0. PROHIBITIONS

- (1) No person shall use the Swimming Quarry contrary to any provision of this by-law.
- (2) No person shall use the Fishing Quarry contrary to any provision of this by-law.

4.0. PENALTY

- (1) Any person who contravenes any provision of this by-law is guilty of an offence and:
 - a) upon a first conviction is subject to a maximum fine of five thousand dollars (\$5,000.00);
 - b) upon a subsequent conviction is subject to a maximum fine of ten thousand dollars (\$10,000.00);
- (2) Despite section 10.1, where the person convicted is a corporation, the corporation is liable;
 - a) on a first conviction, to a maximum fine of not more than ten thousand dollars (\$10,000.00); and
 - b) on any subsequent conviction, to a maximum fine of not more than twenty-five thousand dollars (\$25,000.00).
- (3) Every person who contravenes any provision of this by-law is guilty of an offence and upon conviction is liable to a fine as provided for by the *Provincial Offences Act*, R.S.O. 1990, Chapter P.33, as amended.

5.0. SHORT TITLE

This By-law may be referred to as the “Quarries By-law”.

6.0. REPEAL

The Corporation of the Town of St. Marys By-law 53-1966, all amendments thereto, and any by-law of similar topic, is repealed on the day this by-law comes into force and effect.

7.0. ENACTMENT

This By-Law comes into force and takes effect on June 12, 2018.

Read a first and second time this 12th day of June, 2018.

Read a third and final time and passed this 12th day of June, 2018.

Mayor Al Stratheedee

Brent Kittmer, CAO / Clerk

Map of St. Marys Quarries



Penalties of Infraction

Part 1: Provincial Offences Act

Item	Short Form	Provision creating or defining offence	Set Fine
1	Activity other than swimming	3.(1)	\$150
2	Activity other than fishing	3.(2)	\$150

NOTE: The penalty provisions for the offences listed above is Section 4 of by-law 57-2018, a certified copy of which has been filed.

BY-LAW 58-2018

THE CORPORATION OF THE TOWN OF ST. MARYS

Being a By-law to regulate traffic, parking and boulevard maintenance within the Town of St. Marys.

- WHEREAS:** The *Municipal Act, 2001*, S.O. 2001, c. 25, as amended, Section 10 gives The Corporation of the Town of St. Marys the power to pass by-laws respecting its highways, including parking and traffic on highways;
- AND WHEREAS:** O. Reg. 366/18 of The *Municipal Act, 2001*, S.O. 2001, c. 25, sets out minimum standards for road and highway maintenance for all municipalities in Ontario including but not limited to sidewalk trip and encroachment hazards;
- AND WHEREAS:** The *Motorized Snow Vehicles Act*, R.S.O. 1990, c.M.44, as amended, Section 7 provides that the municipality may by by-law regulate, govern and prohibit the operation of motorized snow vehicles within the municipality including any highways therein or on part or parts thereof;
- AND WHEREAS:** The *Highway Traffic Act*, R.S.O. 1990, C.H. 8, as amended, Section 123(2) provides that the municipality may by by-law limit the gross vehicle weight of any vehicle or any class thereof passing over the bridge;
- AND WHEREAS:** The *Fire Protection and Prevention Act, 1997*, S.O. 1997, c.4, as amended, provides that a council of a municipality may pass by-laws designating private roadways as fire routes along which no parking of vehicles shall be permitted and providing for the removal and impounding of any vehicle parked or left along any of the fire routes at the expense of the owner of the vehicle;
- AND WHEREAS:** The *Fire Protection and Prevention Act, 1997*, S.O. 1997, c.4, as amended, provides that a municipality may appoint an officer to enter upon land and into structures at any reasonable time to inspect the land and structures to determine whether by-laws enacted in accordance with this section are being complied with;
- NOW THEREFORE:** The Council of the Corporation of the Town of St. Marys hereby enacts as follows;

1.0. DEFINITIONS

- 1.1.** For the purpose of this By-law:

“Accessible Parking Space” means a parking space designed under this By-law for the exclusive use of a Motor Vehicle displaying a Minister of Transportation issued accessible parking permit;

“Authorized Sign” means any Traffic Control Device that has been erected on a Highway under the authority of this By-law for the purpose of regulating, warning or guiding Traffic;

“Boulevard” means that part of the Highway situated between the Curb line and the nearest lateral property line of the lot abutting the Highway, including a driveway, but does not include a Sidewalk or Shoulder or multi-use trail;

“Clerk” means the Clerk of the Town of St. Marys, or designate, as appointed by Council;

“Community Safety Zone” means a part of a Highway which is designated by the Town as an area where public safety is of special concern, and where fines imposed upon conviction of a moving violation, are increased;

"Council" means the Council of The Corporation of the Town of St. Marys;

“Crosswalk” means:

- (a) that part of a Highway at an Intersection that is included within the connections of the lateral lines of the Sidewalks on opposite sides of the Highway measured from the Curbs or, in the absence of Curbs, from the edges of the Roadway, or
- (b) any portion of a Roadway at an Intersection or elsewhere distinctly indicated for pedestrian crossing by signs or by lines or other markings on the surface;

“Curb” includes the edge of the traveled portion of a street or Roadway;

“Designated Parking Permit” means a permit issued by the Town of St. Marys in accordance with this by-law for the designation of a parking space in a Public Parking Lot for the exclusive use of a Motor Vehicle approved by the Town;

“Director” means the Director of Public Works for the Town or any successor position, or his or her appointed designate;

“Fire Route” means an access route required for the use by the Fire Department provided by means of a Private Roadway or yard;

"Gross Weight" means the combined weight of Vehicle and load;

“Heavy Vehicle” means any Commercial Motor Vehicle for which Gross Weight as shown on the registration permit issued under the *Highway Traffic Act*, R.S.O. 1990, Chapter H.8 exceeds 5 tonnes and 6.5 meters in length but does not include:

- (a) ambulances, police or fire department vehicles,
- (b) school buses;

- (c) emergency motor vehicles;
- (d) public utility motor vehicles;
- (e) motor vehicles owned or operated by the Town;
- (f) motor vehicles of the Ministry of Transportation of the Province of Ontario.

"Highway" includes a common and public highway, street, avenue, parkway, driveway, square, place, bridge, viaduct or trestle, any part of which is intended for or used by the general public for the passage of Vehicles and includes the area between the lateral property lines thereof;

"Inoperative Vehicle" means any Vehicle that is, dismantled, broken or incomplete, decayed or dilapidated by the reason of missing or damaged part(s), tire(s), engine, drive train or body components or window(s) or, the removal or damage of other parts or equipment necessary for the Vehicle's operation or, being in an unsightly state of disrepair, or being wrecked and incapable of use as a means of lawful transportation;

"Intersection" means the area embraced within the prolongation or connection of the lateral Curb lines or, if none, then of the lateral boundary lines of two or more Highways that join one another at an angle, whether or not one Highway crosses the other;

"Motor Assisted Bicycle" includes a motor-assisted bicycle or any other motor-assisted transportation device that weighs not more than 55 kilograms and that does not have sufficient power to enable the transportation device to attain a speed greater than 50 kilometres per hour on level ground within a distance of 2 kilometres from a standing start, but does not include a wheelchair;

"Motor Vehicle" includes an automobile, motorcycle, motor-assisted bicycle and any other vehicle propelled or driven other than by muscular power, but does not include a street car or other motor vehicle running only upon rails, a motorized snow vehicle, a traction engine, a farm tractor, power-assisted bikes, a self-propelled implement of husbandry or a road-building machine;

"Municipal Law Enforcement Officer" means a by-law enforcement officer appointed by Council;

"Park" or "Parking", when prohibited, means the Standing of a Vehicle, whether occupied or not, except when Standing temporarily for the purpose of and while actually engaged in loading or unloading merchandise or passengers;

"Police Officer" means a current member of the Town of St. Marys police services contractor or a person authorized by the police services contractor thereof to regulate or direct Traffic;

"Private Roadway" means a Roadway other than municipal or government property, and includes privately owned roads, driveways and laneways;

"Public Parking Lot" means an off-street parking lot or other parking facility, owned by the municipality and signed accordingly, to which the public has access whether on payment of a fee or otherwise;

"Roadway" means the part of the Highway that is improved, designed or ordinarily used for vehicular Traffic, but does not include the Shoulder, and, where a Highway includes two or more separate Roadways, the term "Roadway" refers to any one Roadway separately and not to all of the Roadways collectively;

"Shoulder" means that portion of a Highway lying adjacent to the Roadway that is improved with granular or paved surface and is not intended for the passage of Motor Vehicles;

"Sidewalk" means any municipal walkway, or that portion of a Road between the curb line or the lateral line of a Roadway and the adjacent property line, primarily intended for the use of pedestrians;

"Stand" or "Standing" means the halting of a Motor Vehicle, whether occupied or not, except for the purpose of and while actually engaged in receiving or discharging passengers;

"Stop" or "Stopping" when prohibited, means the halting of a Motor Vehicle, even momentarily, whether occupied or not, except when necessary to avoid conflict with other Traffic or in compliance with the directions of a Police Officer or of a Traffic Control Device;

"Town" means the Corporation of the Town of St. Marys;

"Traffic Control Device" means any sign or other device erected or placed for the purpose of guiding, directing or regulating Traffic;

"Traffic" includes pedestrians, ridden or herded animals, Vehicles and other conveyances either singly or together while using any Highway for the purpose of travel;

"Vehicle" includes a Motor Vehicle, trailer, traction engine, farm tractor, road-building machine, bicycle and any vehicle drawn, propelled or driven by any kind of power, including muscular power, but does not include a motorized snow vehicle or a street car.

For the purpose of this By-law, where no definition is made herein and a definition is required, the applicable definition shall be as set forth in the *Highway Traffic Act*, R.S.O. 1990, Chapter H.8 as amended.

2.0. TRAFFIC

2.1. Traffic Control Devices

- (1) Traffic Control Devices for the purpose of regulating, warning or guiding Traffic shall be erected as authorized by Council.

- (2) Pavement markings for the purpose of directing and guiding Traffic and the Parking of Motor Vehicles shall be marked as authorized by the Director.
- (3) No person shall display any unauthorized device, sign or marking upon any Highway attempting or purporting to regulate, warn or guide Traffic or the Parking of Vehicles on a Highway.
- (4) Any unauthorized sign, signal marking or device so erected shall be removed by the Director, Police Officer or Municipal Law Enforcement Officer.
- (5) No unauthorized person shall remove a sign, signal marking or device.
- (6) No unauthorized person shall give any signal or direction attempting or purporting to direct Traffic unless in an emergency to direct Traffic around the scene of an accident or obstacle.
- (7) Stop signs are authorized and shall be installed at the Intersections set out in Schedule 1 hereto.
- (8) All-way stops are authorized and shall be installed at the Intersections set out in Schedule 1 hereto.
- (9) Yield signs are authorized and shall be installed at the Intersections set out in Schedule 2 hereto.
- (10) Electronic Traffic Control Devices (light signals), comprising red, amber and green lights, are authorized and shall be installed at the Intersections set out in Schedule 3 hereto.

2.2. Use of Sidewalk

- (1) No person shall use any Sidewalk for any purpose other than pedestrian Traffic, except as specifically permitted in this or any other by-law.
- (2) A person may use the Sidewalk for the purpose of walking a bicycle or Motor Assisted Bicycle.
- (3) Within the downtown area, identified on Schedule 11, no person shall ride a bicycle on a Sidewalk.
- (4) Persons under the age of 14 are permitted to ride a bicycle or Motor Assisted Bicycle upon a Sidewalk, with the exception of the area within the area identified on Schedule 11.
- (5) No person shall at any time use or operate skateboards, roller skates, in-line skates or other similar devices on municipal Sidewalks in the area identified on Schedule 11.

2.3. Prohibited Turn

- (1) Streets where turns are prohibited are set out in Schedule 4 hereto.
- (2) No person shall make a prohibited turn when a prohibited turn sign is on display.

2.4. No Stopping

- (1) No Stopping areas are set out in Schedule 5 hereto.
- (2) No person shall Stop a Vehicle in an area that has been designated as a No Stopping area when a sign is on display.

2.5. Obstructing Traffic

- (1) No person shall obstruct a Highway with a Motor Vehicle which becomes stalled or for any reason cannot be moved by its ordinary motive power.
- (2) Any Vehicle stopped on any Highway shall be moved away by the owner or operator thereof at the direction of a Police Officer or Municipal Law Enforcement Officer when Traffic congestion, proximity to a fire or any other condition renders the removal of such Vehicle expedient.

2.6. One-Way Streets

- (1) Streets that are designated as one-way streets are set out in Schedule 6 hereto.

2.7. Operation of Vehicles

- (1) No person operating a Vehicle shall use engine brakes in the Town, except to avoid or reduce the impact of a collision or in the case of such other emergency.
- (2) No person shall drive a Vehicle, except an emergency Vehicle or a Vehicle authorized by the Director or by a Police Officer, on any Highway that is roped, barricaded or marked by an Authorized Sign prohibiting its use.
- (3) No person shall drive or operate a Vehicle or equipment of any nature or kind in such a manner as to track mud or debris upon a Highway.
- (4) Any person who tracks mud or debris upon a Highway contrary to subsection 2.7(3) of this By-law, in addition to any other penalty, shall be liable to the Town for costs of clean up or removal of the mud or debris.
- (5) No person shall while driving a Vehicle will allow such Vehicle to be reversed or backed before it is first ascertained by observation that such movement can be safely made.
- (6) No person shall while driving a Vehicle allow such Vehicle to be reversed or backed before there is given an unmistakable warning signal to Pedestrians and approaching Vehicles of such movement.

- (7) No person operating a Vehicle shall drive on any Highway in the Town other than in a single file formation in one direction.
- (8) No person while driving a Vehicle shall turn such a Vehicle so as to proceed in the opposite direction in the areas set out in Schedule 4 hereto.
- (9) No person shall drive an all-terrain Vehicle on public roads and road allowances unless they are a Town all-terrain Vehicle, all others shall only be used on private property at the consent of the property owner.

2.8. Motorized Snow Vehicle

No person shall operate a motorized snow vehicle:

- (1) along the Sidewalks or Boulevards.
- (2) after 10:00pm and before 7:00am.
- (3) within the boundaries of the St. Marys Cemetery.
- (4) on the Town's parklands.

2.9. Speed Limits

- (1) The maximum speed limit on a municipal Highway is 50 kilometres per hour unless otherwise posted.
- (2) Reduced speed limits are set out in Schedule 7 hereto.
- (3) Reduced speed limits within a school zone are set out in Schedule 7 hereto.
- (4) No person shall operate a Vehicle in excess of the posted speed limit.

2.10. Community Safety Zones

- (1) Community Safety Zones as designated by the *Highway Traffic Act* are set out in Schedule 8 hereto.

2.11. Heavy Vehicles

- (1) No person shall operate a Heavy Vehicle on any Highway except on the Highways or parts of Highways described in Schedule 9.
- (2) Notwithstanding subsection 2.11(1), a Heavy Vehicle may be driven to make a delivery to, or collection from a premise or premises that cannot be reached by any route other than the Highway where Heavy Vehicles are prohibited within this By-law, provided that when making such a delivery or collection the same Highway is travelled only as far as is unavoidable in getting to and from such premise or premises.

- (3) Engine brakes are not permitted in the Town, except to avoid or reduce the impact of a collision or in the case of such other emergency.
- (4) No person shall operate a Heavy Vehicle on the Highways during specific time periods as set out in Schedule 9 under the heading “Time Limitations”.

2.12. Temporary Highway Closing

- (1) No person shall block or close off a Highway without first:
 - a) Submitting a Road Closure Application to the Municipal Operation Centre, 408 James Street South, at least 30 days in advance and;
 - b) Receiving written consent from the Town.

2.13. Oversize or Overweight Load Permits

- (1) The Director is hereby authorized to grant or refuse permits for the moving of Heavy Vehicles, loads, objects or structures in excess of the otherwise lawful limits, pursuant of the *Highway Traffic Act*.
- (2) No Vehicle shall be operated on a Highway that exceeds the prescribed size and weight limits of the Highway Traffic Act, as amended without a valid permit.

2.14. Reduced Load Limit

- (1) No Vehicle shall be operated over the bridge known as Water Street Bridge at Trout Creek on Water Street North where:
 - a) In the case of a single Vehicle the Gross Weight exceeds five (5) tonnes, and
 - b) In the case of a combination of two or more Vehicles the Gross Weight exceeds five (5) tonnes

3.0. PARKING

3.1. Parking Regulations and Restrictions

- (1) All Parking in the Town on a Highway, shall be parallel Parking.
- (2) No person shall Park a Vehicle on any Highway except upon the right-hand side of the Roadway, having regard for the direction in which the Vehicle is required to proceed, and when Parked on a Highway, the right front and rear wheels or runners of the Vehicle shall be parallel to and distant not more than 0.3 metres from the right-hand edge of the Highway adjacent to which such Vehicle is Parked.
- (3) No person shall Park a Vehicle in any of the following places during the specified times:

- a) at any time in such a manner so that any part of the Vehicle is situated upon or over a Sidewalk;
- b) at any time between a Sidewalk and the adjacent Roadway where the shortest distance between the Sidewalk and the Roadway is less than 5.5 metres;
- c) on any Boulevard at any time;
- d) on a Roadway or Shoulder in front of a public or private driveway access or lane at any time;
- e) within an Intersection at any time;
- f) on a Crosswalk at any time;
- g) within six (6) metres of the nearest Crosswalk at an Intersection at any time, except within the area identified on Schedule 11;
- h) within three (3) metres of a point on the Curb or edge of the Roadway adjacent to any fire hydrant;
- i) within ten (10) metres of any Intersection at any time, except within the area identified on Schedule 11;
- j) within nine (9) metres of any bridge or curve at any time, except within the area identified on Schedule 11;
- k) within sixteen (16) metres of an overpass at any time;
- l) within four (4) metres of railway tracks at any time;
- m) on a Highway in a manner which obstructs Traffic at any time;
- n) in a position which will prevent the convenient removal of any other Vehicle previously parked at any time;
- o) on a Highway between 2:00am and 6:00am from November 1 until April 30;
- p) on a Highway for a duration longer than 72 hours from May 1 until October 31;
- q) in a municipal facility parking lot between the hours of 2:00am and 5:00am;
- r) on a Highway when a trailer is attached to a Motor Vehicle between 9:00 pm and 6:00 am;

- s) for the purpose of repairs, oiling and greasing; or
 - t) for the purpose of advertising, or pricing for sale.
- (4) No person shall operate or Park any Vehicle upon any land owned by the Town which includes but is not limited to: playgrounds, trails, Boulevard, recreation or public park, or any utility right-of-way, except on such part thereof as the Town may designate by a sign or signs for vehicular use or Parking, or by exemption through the Town.
 - (5) No Inoperative Vehicle's shall be parked on Town Highways.
 - (6) No person shall occupy any recreation Vehicle or holiday trailer as a dwelling or sleeping place at any time while it is Parked on a Highway, Public Parking Lot.

3.2. Parking Restrictions on Specified Highways

- (1) No Parking areas are set out in Schedule 10 hereto.
- (2) No person shall Park a Vehicle on any of the Highways or portions designated no parking areas.
- (3) On-street parking areas with a three (3) hour parking limit are set out in Schedule 11 hereto.
- (4) No person shall Park a Vehicle for longer than three hours in designated areas.
- (5) No person shall Park a Vehicle in the downtown boundaries as identified in Schedule 4 between 2:00am and 6:00am, year round.

3.3. Parking Restrictions for Heavy Vehicles

- (1) No person shall Park a Heavy Vehicle in a Public Parking Lot.
- (2) No person shall Park a Heavy Vehicle in a municipal facility parking lot other than for the purpose of delivery of goods.
- (3) No person shall Park a Heavy Vehicle on a Highway except for the purpose of delivery of goods or construction activities within the areas set out on Schedule 4.

3.4. Accessible Parking Space

- (1) On-Street Accessible Parking Spaces are set out in Schedule 12 hereto.
- (2) No person shall Park, Stand or Stop a Motor Vehicle in any designated Accessible Parking Space except a Motor Vehicle,
 - a) that is operated by or carries a person with a disability, and

- b) that is identified by a current original identifying marker, and
 - c) that is parked entirely within a designated parking space.
- (3) An identifying marker shall be displayed on,
- a) an inner surface of the windshield, as close as practicable to the lower left-hand corner and as close as practicable to the left-hand side of the Motor Vehicle, or
 - b) the outer surface of the sun visor on the left-hand side of the Motor Vehicle so as to be visible through the windshield from the exterior of the car when the sun visor is in a lowered position.

3.5. Public Parking Lot

- (1) Public Parking Lots are set out in Schedule 13 hereto.
- (2) No person shall permit a Vehicle to be parked in a Public Parking Lot between 2:00am and 6:00am unless displaying a Designated Parking Permit.
- (3) No person shall permit a Vehicle to be parked in a Public Parking Lot for more than eight (8) hours at any time unless displaying a Designated Parking Permit.
- (4) No person shall permit a Heavy Vehicle to be parked in a Public Parking Lot.
- (5) No person shall park a Vehicle in a Public Parking Lot for the purpose of repairs, oiling and greasing.
- (6) No person shall park an Inoperative Vehicle or detached trailer in a Public Parking Lot.
- (7) No person shall park in the area identified in Schedule 17 unless displaying a valid Designated Parking Permit.

3.6. Designated Parking Permit

- (1) Designated Parking Permits for the parking of Motor Vehicles in Public Parking Lots are hereby authorized and assigned by the Clerk.
 - a) Long-term Designated Parking Permits shall be for a maximum term of one year, from November 1 until October 31 of the next calendar year. A renewal Designated Parking Permit may be applied for from the Town in advance of the expiry of the permit.
 - b) Short-term Designated Parking Permits shall be for a maximum term of seven (7) days.

- (2) The allocation of the Designated Parking Permit shall be based on need and capacity.
- (3) The Designated Parking Permit shall contain the permit number, the permit location, the make of the approved Motor Vehicle, year of the vehicle, License plate number, and permit expiry date.
- (4) No person shall display an expired Designated Parking Permit.
- (5) No person shall use the Designated Parking Permit for any location other than the location approved by the Town and listed on the permit.
- (6) The Director may request that the Designated Parking Permit holder move their Motor Vehicle at any time.
- (7) The Town may revoke any permit issued at any time.
- (8)

3.7. Fire Routes

- (1) The Town may require a Private Roadway to be established as a Fire Route.
- (2) Where a Fire Route has been designated under this by-law, the Town may issue an order requiring the property owner;
 - a) to establish the Fire Route in accordance with the provisions of this by-law; and
 - b) erect and maintain an Authorized Sign at locations on the Fire Route.
- (3) Where a property owner fails to erect or to maintain an Authorized Sign under this by-law, the Fire Chief or designate may enter on the property owner's land and may erect an Authorized Sign at the expense of the property owner and the costs incurred as a result thereof may be added to the tax roll and collected by the Town in the same manner as municipal taxes.
- (4) Where a Fire Route has been designated, constructed and signed in accordance with this by-law, if the Fire Chief deems it to be in the interest of the life safety requirements under the *Fire Code*, the Fire Chief may issue an order for any change to the designated Fire Route deemed necessary and the property owner shall carry out whatever construction or changes to an unauthorized sign as may be necessary.
- (5) No person shall Park or Stand a vehicle along, in, or over, any properly signed Fire Route designated in Schedule 14.
- (6) No person shall move, remove or interfere with a Fire Route sign along a Fire Route or obstruct a view of the Fire Route sign along a Fire Route.

- (7) No person shall erect or maintain along a Fire Route any sign which may conflict or be confused with a Fire Route sign.
- (8) No person shall erect or maintain a facsimile of a Fire Route sign along any Private Roadway, whether a Fire Route or not.

3.8. Parking During Emergencies and Special Events

- (1) Notwithstanding any other provisions of this by-law to the contrary, in case of fire, a parade, an assembly of persons, a congestion of traffic, a construction project or an emergency, parking may be restricted or prohibited by the Director or Police Officer, and no person shall Park a Vehicle in contravention of such restrictions and prohibition.
- (2) For the purposes of this section, “emergency” includes a snow fall or other act of God which hinders, restricts or prohibits movement of Vehicles or pedestrians on a Highway.

3.9. Loading and Unloading

- (1) Loading Zone areas are set out in Schedule 15 hereto.
- (2) No person shall Stop or Stand a Vehicle in an area designated as a No Loading Zone.
- (3) No person shall Park a Vehicle in an area designated as a Loading Zone.

3.10. School Bus Loading Zones

- (1) School bus loading zone areas are set out in Schedule 16 hereto.
- (2) No person shall Park a school bus or a school vehicle or any part of a school bus or a school vehicle except entirely in a School Bus Loading Zone that has been established in this by-law.
- (3) No person shall Park a Vehicle other than a school bus in a School Bus Loading Zone.

3.11. Emergency Vehicles

- (1) Nothing in this By-law prohibits Municipal Law Enforcement, emergency services or municipal vehicles from being parked on the Highway.

3.12. Recreation Vehicles

- (1) No person shall Park a recreation vehicle, motorhome, or camping trailer as a dwelling or sleeping place at any time in a municipal facility parking lot, Public Parking Lot or municipal park.

4.0. BOULEVARD MAINTENANCE

4.1. Property Owner Prohibitions

- (1) No person shall permit any garbage, debris or discarded materials to accumulate on the Boulevard.
- (2) No person shall place any encroachment within 45 centimeters of the edge of the Sidewalk, such as sporting equipment, rocks, gravel, landscape features, ties, rails, asphalt, bricks, concrete structures or figurines.

4.2. Property Owner Obligations

- (1) In regards to the Boulevard immediately fronting an owner's property:
 - a) No property owner shall permit grass on the Boulevard to grow more than 10 centimeters within 45 centimeters adjacent to Sidewalk edge;
 - b) No property owner shall permit brush or noxious weeds to grow within the boulevard:
 - c) Prune and trim hedges, trees and shrubs in the Boulevard, except for those planted by the Town, as part of a development requirement, so that a minimum vertical clearance of 3.0 metres above the sidewalk and 4.5 metres above the Roadway, is maintained and there is no encroachment on:
 - i. A Sidewalk; or
 - ii. A Roadway, where there is no Sidewalk
 - d) Ensure that sight lines to Intersections, driveways, Sidewalk, walkways, travel lanes, and visibility to all traffic control devices is not restricted by modifications to the Boulevard which the property owner may undertake;
 - e) Maintain any shrubbery, landscaping, and flower beds on the Boulevard below a maximum permitted height of 0.5 metres from the Boulevard level; and maintain a 2 meter clearance for shrubbery, hedges and trees from any fire hydrant or fire hydrant valve;
 - f) A property owner may add flower beds, plant shrubbery, and ground cover in a Boulevard provided such additions match existing grade of Sidewalk edge with no more than 2 centimetres deviation of surface continuity and comply with the requirements above.
- (2) The obligation to maintain the Boulevard as specified in Section 4.2(1) does not apply where in the opinion of the Director the property owner is unable to directly access the Boulevard due to steep grades, walls, fences or other obstructions.

4.3. Authority of the Director of Public Works

- (1) The Director may require an owner of real property to:
- a) Remove any flower beds, plant shrubbery, and landscaping located in a Boulevard in accordance with section 4.1(1), to facilitate work that the Town will have to undertake in the vicinity;
 - b) Remove any addition to the Boulevard undertaken by the property;
 - c) Remove or trim any trees, shrubs, hedges or bushes growing or standing on property adjacent to a Highway, where in their opinion:
 - i. The safety or convenience of the public so requires;
 - ii. Where any such trees, shrubs, hedges or bushes become encroaching to the Roadway or Sidewalk.
 - d) The Town has the authority to assume ownership of any tree, hedge or shrubbery in a Boulevard for the purpose of being the sole maintainer of such tree, hedge or shrubbery.

4.4. Restoration of Boulevard After Construction

- (1) Upon completion of any work by the Town, which required the removal of any flower beds, plant shrubbery and landscaping, the property owner may replace such vegetation with the permission of the Director.

4.5. Order to Discontinue Activity

- (1) **If the Director determines that this Boulevard Maintenance portion of the by-law has been contravened, the Director may issue an Order to Discontinue Activity requiring the person contravening the by-law to immediately discontinue the contravention.**
- (2) **No person shall contravene an Order to Discontinue Activity.**

5.0. CONFLICT WITH HIGHWAY TRAFFIC ACT

- (1) In the event of a conflict between the provisions of this by-law and the *Highway Traffic Act*, the provisions of the *Highway Traffic Act* prevail.

6.0. VALIDITY

- (1) If a court of competent jurisdiction declares any subsection, section or part of this By-law invalid, it is the intention of Council that the remainder of the By-law shall continue to be in force.

7.0. SCHEDULES

- (1) The following schedules shall constitute and form part of this by-law:

Schedule 1 – Stop Sign
Schedule 2 – Yield Sign
Schedule 3 – Electronic Traffic Control Devices
Schedule 4 – Downtown Boundaries & Prohibited U-Turn Areas and Prohibited Heavy Vehicle Parking Areas
Schedule 5 – No Stopping
Schedule 6 – One-Way Traffic
Schedule 7 – Reduced Speed Limit
Schedule 8 –Community Safety Zone
Schedule 9 – Heavy Vehicle Route
Schedule 10 – No Parking
Schedule 11 – Use of Sidewalk, Intersection and Three Hour Parking
Schedule 12 – On-Street Accessible Parking
Schedule 13 – Public Parking Lot
Schedule 14 – Fire Route
Schedule 15 – Loading Zone
Schedule 16 – School Bus Loading Zone
Schedule 17 – Designated Permit Only Parking Lots
Schedule A – Part I Short Form Wording
Schedule B – Part II Short Form Wording

8.0. ENFORCEMENT

- (1) This by-law may be enforced by a Police Officer or a Municipal Law Enforcement Officer appointed by Council.

9.0. PENALTIES

9.1. General

- (1) Except where otherwise expressly provided by this by-law or the *Highway Traffic Act*, every person who
 - a) contravenes any provision of this by-law; or
 - b) is the owner of a Vehicle that is parked or stopped in contravention of any provision of this by-law, is guilty of an offence and upon conviction is liable to a fine as provided for by the *Provincial Offences Act*, R.S.O. 1990, Chapter P.33, as amended.

- (2) Despite subsection (1), any person who contravenes section 3.4(2) of this by-law is guilty of an offence and on conviction is liable to a fine of not less than \$300.00.
- (3) Despite subsection (1), any person who contravenes section 2.8 of this by-law is guilty of an offence and on conviction is liable to a fine of not less than \$125.00.
- (4) Despite subsection (1), any person who contravenes sections 3.7.(5), 3.7.(6), 3.7.(7) and 3.7.(8) of this by-law is guilty of an offence and on conviction is liable to a fine of not less than \$75.00.

9.2. Illegally Parked Vehicles

- (1) Where a Vehicle has been stopped or left Standing in contravention, the owner of the Vehicle, notwithstanding that he was not the driver of the Vehicle at the time of the contravention of the by-law, is guilty of an offence and is liable to the fine prescribed for the offence unless, at the time of the offence, the Vehicle was in the possession of some person other than the owner without the owner's consent.
- (2) No person shall permit a vehicle to be parked or left on Corporation-owned or occupied land without the authorization of the Corporation.
- (3) A Vehicle parked or left contrary to this By-law may be removed or impounded at the Vehicle Owner's expense. The costs and charges incurred for removing, taking away and storing a Vehicle pursuant to the provisions in this By-law, shall be a lien against the Vehicle, which shall be enforced in the manner prescribed by the *Repair and Storage Liens Act*, R.S.O. 1990, c. R.25, as amended.
- (4) Notwithstanding all other provisions of this by-law, in respect of penalties for violations of the Parking and Stopping provisions of this by-law, any person may, upon presentation of a Parking infraction notice issued by a Police Officer or Municipal Law Enforcement Officer alleging the commission of any of the offences under this by-law, pay out of Court within five (5) days from the date of said notice and penalty set out opposite such offence. Upon such payment no further proceedings shall be taken under this by-law in respect to the said alleged offence.

10.0. SHORT TITLE

This By-law may be referred to as the "Traffic, Parking and Boulevard Maintenance By-law".

11.0. REPEALED

By-law No. 6 of 2014 and all amendments thereto, including 41 of 2014, 4-15, 38-15, 41-15, and 54 of 2016, are hereby repealed on the day which this By-law comes into force and effect.

By-law 19-2003, To authorize certain parking, standing and stopping of vehicles operated by, or carrying, physically handicapped persons.

By-law 34-2002, To restrict the use of bicycles, skateboards, scooters and rollerblades / skates in the downtown core area.

By-law 8 of 2000, To amend By-law 6 of 1995

By-law 43 of 1998, To restrict weight of vehicles passing over the Bridge across Trout Creek on Water Street North

By-law 4 of 1998, To restrict weight of vehicles passing over the Bridge across Trout Creek on Water Street North

By-law 6 of 1995, To regulate the driving of motorized snow vehicles in Town

12.0. ENACTMENT

This By-Law comes into force and takes effect on November 1, 2018.

Read a first and second time this 12th day of June, 2018.

Read a third and final time and passed this 12th day of June, 2018.

Mayor Al Strathdee

Brent Kittmer, CAO / Clerk

Schedule 1

STOP SIGN

	INTERSECTION	FACING TRAFFIC
1	Brock St. & Elgin St. East	Northbound on Brock
2	Brock St. & Elgin St. East	Southbound on Brock
3	Cain St. & Elgin St.	Eastbound & westbound on Elgin St
4	Cain St. & Jones St.	Eastbound on Jones St.
5	Church St. & Elgin St.	Westbound on Elgin St.
6	Church St. & Elizabeth St.	Westbound on Elizabeth St.
7	Church St. & Jones St.	Westbound on Jones St.
8	Church St. & Park St.	Northbound & southbound on Church St.
9	Church St. & Station St.	Eastbound & westbound on Station St.
10	Church St. & Victoria St.	Westbound on Victoria St.
11	Church St. & Widder St.	Eastbound & westbound on Widder St.
12	George St. & Park St.	Northbound on George St.
13	Glass St. & Edison St.	Northbound on Edison St.
14	Glass St. & Samuel St.	Northbound on Samuel St.
15	Glass St. & Emily St.	Northbound on Emily St.
16	Guest Crt.	Southbound on Glass St.
17	Guest Court & Glass Street	Southbound on Guest Court
18	Huron St. & Elgin St.	Eastbound and westbound on Elgin St.
19	Huron St. & Jones St.	Eastbound & westbound on Jones St
20	Huron St. & Maxwell St.	Southbound on Huron
21	Huron St. & Rogers Ave.	Eastbound & westbound on Rogers Ave
22	James St. & both exits Pyramid Recreation Centre	Westbound on both exits to James St.
23	James St. 230 metres southerly	Eastbound from Skate Park
24	James St. & Edison St.	Westbound on Edison St.
25	James St. & Egan Ave.	Eastbound on Egan Ave.
26	James St. & Enterprise Dr.	Eastbound on Enterprise Dr.
27	James St. & Given Road	Westbound on Given Road
28	James St. & Glass St.	Westbound on Glass St.
29	James St. & Jones St.	Eastbound on Jones St.

	INTERSECTION	FACING TRAFFIC
30	James St. & Maxwell St.	Westbound on Maxwell St.
31	James St. & Meadowridge Dr.	Westbound on Meadowridge Dr.
32	James St. & South Service Rd.	Eastbound on South Service Rd.
33	James St. & Southvale Rd.	Westbound on Southvale Rd.
34	James St. & Trailside Crt.	Westbound on Trailside Crt.
35	James St. & Victoria St.	Eastbound on Victoria St.
36	James St. & Widder St.	Eastbound & westbound on Widder St.
37	King St. and Elgin St.	Eastbound & westbound on Elgin St.
38	King St. & Elizabeth St.	Northbound & southbound on King St.
39	King St. & Jones St.	Eastbound & westbound on Jones St.
40	King St. & Station St.	Southbound on King St.
41	King St. & Widder St.	Eastbound & westbound on Widder St.
	Lindsay Atkinson Drive & Little Falls Public School	Northbound & Southbound on Lindsay Atkinson Dr. 150 metres southerly of Maxwell St.
42	Lindsay Atkinson Dr. & Maxwell St.	Northbound on Lindsay Atkinson Dr.
43	Maiden Lane & Ingersoll St.	Westbound on Maiden Lane
44	Maiden Lane & Ontario St.	Eastbound & westbound on Maiden Lane
45	Maiden Lane & Robinson St.	Eastbound on Maiden Lane
46	Maiden Lane & Salina St.	Eastbound & westbound on Maiden Lane
47	Maiden Lane & William St.	Eastbound & westbound on Maiden Lane
48	Maxwell Street & Dunsford Cres.	Southbound at both exits
49	Millson Crescent (both legs) & Glass St	Southbound on Millson Crescent
50	Ontario St. & Elgin St.	Eastbound on Elgin St.
51	Ontario St. & Jones St.	Northbound & southbound on Ontario St.
52	Ontario St. & Westover St.	Northbound & southbound on Ontario St.
53	Park Lane & Ontario St.	Westbound on Park Lane
54	Park Lane & Thomas St.	Eastbound on Park Lane
55	Peel St. & Egan Ave	Northbound on Peel St.
56	Peel St. & Jones St.	Eastbound & westbound on Jones St.
57	Peel St. & Station St.	Southbound on Peel St.
58	Peel St. & Widder St.	Eastbound & westbound on Widder St.

	INTERSECTION	FACING TRAFFIC
60	Queen St. & Ann St.	Southbound on Ann St.
61	Queen St. & Brock St.	Northbound & southbound on Brock St.
62	Queen St. & Cain St.	Northbound on Cain St.
63	Queen St. & Carrall St.	Northbound on Carrall St.
64	Queen St. & Charles St.	Northbound & southbound on Charles St.
65	Queen St. & Huron St.	Northbound & southbound on Huron St.
66	Queen St. & Industrial Rd.	Northbound on Industrial Rd.
67	Queen St. & Ingersoll St.	Southbound on Ingersoll St.
68	Queen St. & James St.	Northbound & southbound on James St.
69	Queen St. & King St.	Northbound & southbound on King St.
70	Queen St. & Ontario St.	Northbound & southbound on Ontario St.
71	Queen St. & Peel St.	Northbound & southbound on Peel St.
72	Queen St. & Pelissier St.	Northbound on Pelissier St.
73	Queen St. & Robinson St.	Southbound on Robinson St.
74	Queen St. & St. Andrew St.	Northbound & southbound on St. Andrew St.
75	Queen St. & St. George St.	Southbound on St. George St.
76	Queen St. & St. John St.	Northbound & southbound on St. John St.
77	Queen St. & Salina St	Northbound & southbound on Salina St.
78	Queen St. & Thames Rd.	Southbound on Thames Rd.
79	Queen St. & Thomas St.	Northbound on Thomas St.
80	Queen St. & Warner St.	Northbound on Warner St.
81	Queen St. & Waterloo St.	Northbound & southbound on Waterloo St.
82	Queen St. & William St.	Southbound on William St.
83	Southvale Rd & Meadowridge Dr.	Eastbound on Meadowridge Dr.
84	Southvale Rd & Stoneridge Blvd.	Northbound on Stoneridge Blvd.
85	Spring St. & Waterloo St.	Westbound on Spring
86	St. John St. & Elgin St.	Southbound on St. John St. S
87	St. John St. & Elizabeth St.	Northbound on St. John St. S.
88	St. John St. & Jones St.	Eastbound & westbound on Jones St
89	Thames Ave. & Park St.	Northbound on Thames Ave.
90	Thomas St. & Jones St.	Eastbound on Jones St.
91	Thomas St. & Park Lane	Eastbound on Park Lane

	INTERSECTION	FACING TRAFFIC
92	Thomas St. & Park St.	Westbound on Park St.
93	Thomas St. & Westover St.	Eastbound on Westover St.
94	Tracy St. & Elizabeth St.	Northbound on Tracy
95	Tracy St. & Park St.	Northbound & southbound on Tracy St.
96	Valleyview Lane & Southvale Rd.	Southbound on Valleyview Lane
97	Water St. & Elgin St.	Westbound on Elgin St.
98	Water St. & Emily St.	Southbound on Water St.
99	Water St. & Jardine St.	Westbound on Jardine St.
100	Water St. & Jones St.	Eastbound & westbound on Jones
101	Water St. & Park St.	Eastbound & westbound on Park St.
102	Water St. & Parkview Dr.	Westbound on Parkview Dr.
103	Water St. & St. Maria St.	Eastbound & westbound on St. Maria St.
104	Water St. & Victoria St.	Eastbound & westbound on Victoria St.
105	Water St. & Washington St.	Westbound on Washington St.
106	Water St. & Widder St.	Westbound on Widder St.
107	Waterloo St. & Elgin St.	Eastbound & westbound on Elgin St.
108	Waterloo St. & Elizabeth St.	Eastbound on Elizabeth St.
109	Waterloo St. & Jones St.	Eastbound & westbound on Jones St
110	Wellington St. & Egan Ave.	Westbound on Egan Ave.
111	Wellington St. & Elgin St.	Eastbound & westbound on Elgin St.
112	Wellington St. & Jones St.	Eastbound & westbound on Jones St.
113	Wellington St. & Park St.	Southbound & northbound on Wellington St.
114	Wellington St. & Parkview Dr.	Eastbound on Parkview Dr.
115	Wellington St. & St. Maria St.	Northbound & southbound on Wellington St.
116	Wellington St. & Station St.	Westbound on Station St.
116	Wellington St. & Widder St.	Eastbound & westbound on Widder St.

4- WAY STOP SIGNS

	INTERSECTION	FACING TRAFFIC
1	Elgin St., Warner St. & Willard Crt.	All ways
2	Elgin St. & Huron St.	All ways
3	Huron St. & Elizabeth St.	All ways
4	Peel St. & Elizabeth St.	All ways

3- WAY STOP SIGNS

	INTERSECTION	FACING TRAFFIC
1	Maxwell St. & Huron St.	All ways

Schedule 2

YIELD SIGN

	INTERSECTION	FACING TRAFFIC
1	Brock St. & Elgin St.	Northbound and southbound on Brock St.
2	Brock St. & Elizabeth St.	Northbound & southbound on Brock St.
3	Brock St. & Jones St.	Northbound & southbound on Brock St.
4	Brock St. & Rogers Ave.	Southbound on Brock St.
5	Carrall St. & Elgin St.	Northbound & southbound on Carrall St.
6	Charles St. & Elgin St.	Northbound & southbound on Charles St.
7	Charles St. & Jones St.	Northbound & southbound on Charles St.
8	Church St. & Egan Ave.	Northbound on Church St.
9	Church St. & Jones St.	Eastbound and westbound on Jones St.
10	Church St. & St. Maria St.	Eastbound & Westbound on St. Maria St.
11	Elgin St. & Hillside Crt	Southbound & northbound on Hillside Crt.
12	Emily St. & Thamesview Cres.	Southbound at both legs
13	Emily St.	Southbound at Overpass
14	George St. & Victoria St.	Southbound on George St.
15	Huron St. & Ethel Crt.	Eastbound on Ethel Court
16	Huron St. & Margaret Crt.	Eastbound on Margaret Court
17	Huron St. & Sparling Cres.	Westbound on both exits
18	Huron St. & Widder St.	Southbound on Huron St.
19	Ingersoll St. & Widder St.	Westbound on Widder St.
20	James St. & Timms Lane	Northbound on James St.
21	King St. & Egan Ave.	Northbound on King St.
22	King St. & Timms Lane	Eastbound on Timms Lane
23	Lady Court at Edison Street	Eastbound on Lady Court
24	Markham St. & Maiden Lane	Southbound on Markham St.
25	Markham St. & Widder St.	Northbound on Markham St.
26	Maxwell St. & Oakwood Crt.	Southbound on Oakwood Crt.
27	Maxwell St. & White Crt.	Southbound on White Crt.
28	Maxwell St. & Trillium Cres.	Southbound on Trillium Cres.
29	Meadowridge Dr. & Meadowridge Crt.	Southbound on Meadowridge Crt.

	INTERSECTION	FACING TRAFFIC
30	Meadowridge Dr & Highland Ct.	Southbound on Highland Ct.
31	Meighen Crt. & Dunsford Cresc.	Eastbound on Meighen Crt.
32	Parkhaven Cres & Southvale Rd	Northbound both legs
33	Peel St. & Elgin St.	Northbound & southbound on Peel St.
34	Peel St. & King St.	Southbound on Peel St.
35	Peel St. & Timms Lane	Westbound on Timms Lane
36	Pelissier St. & Elgin St.	Southbound on Pelissier St.
37	Pelissier St. & Graylyn Ave	Eastbound on Graylyn Ave.
38	Salina St. & Elgin St.	Southbound on Salina St.
39	Salina St. & Jones St.	Eastbound & westbound on Jones St.
40	Salina St. & Widder St.	Northbound on Salina St.
41	St. Andrew St. & Elgin St.	Southbound on St. Andrew St.
42	St. Andrew St. & Jones St.	Southbound & northbound on St. Andrew St.
43	St. Andrew St. & Widder St.	Southbound & northbound on St. Andrew St.
44	St. George St. & Elgin St.	Southbound on St. George St.
45	St. George St. & Jones St.	Westbound on Jones St.
46	St. George St. & Timms Ln.	Eastbound on Timms Lane
47	St. George St. & Widder St.	Southbound on St. George St.
48	St. John St. & Widder St.	Southbound on St. John St.
49	St. Maria St & Diamondridge Crt.	Southbound on Diamondridge Crt.
50	Southvale Rd & Homefield Crt.	Eastbound on Homefield Crt.
51	Southvale Rd & Bitchcreek Cres.	Westbound both legs
52	Stoneridge Blvd. & Ridgewood Cres.	Westbound at both exits
53	Tracy St. & Trafalgar St.	Westbound on Trafalgar St.
54	Tracy St. & Victoria St.	Eastbound & westbound on Victoria St.
55	Tracy St. & St. Maria St.	Eastbound on St. Maria St.
56	Trailside Crt. & Edison St.	Southbound on Edison St.
57	Valleyview Ln. & Meadowridge Dr.	Northbound on Valleyview Lane
58	Warner St. & Jones St.	Eastbound & westbound on Jones St.
59	Water St. & Front St.	Eastbound on Front St.
60	Waterloo St. & Rogers Ave.	Eastbound on Rogers Ave.
61	Wellington St. & Victoria St.	Westbound & eastbound on Victoria St.

	INTERSECTION	FACING TRAFFIC
62	Widder St. East & Albert St.	Northbound off Albert St.
63	William St. & Widder St.	Northbound on William St.

Schedule 3

ELECTRONIC TRAFFIC CONTROL SIGNAL LIGHT

1. Queen St. & Water St., intersection
2. Queen St. & Wellington St., intersection
3. Queen St. & Church St., intersection

ELECTRONIC TRAFFIC WARNING LIGHTS, RE: DANGEROUS AREA

Yellow caution light - Queen Street East - at James Street South, facing east and west

Red flashing light – James Street South – at Queen Street East, facing south

ELECTRONIC PEDESTRIAN SIGNAL CROSS OVERS

1. Queen St. West, just west of St. John St.

Schedule 4

DOWNTOWN BOUNDARIES & PROHIBITED U-TURN AREAS & PROHIBITED HEAVY VEHICLE PARKING AREAS

	STREET	DESCRIPTION
1	Queen St.	Between James St. and Thomas St.
2	Water St.	Between Parkview Dr. and Elgin St.
3	Wellington St.	Between Parkview Dr. and Elgin St.
4	Church St.	Between Station St. and Elizabeth St.

Schedule 5

NO STOPPING AREA

	STREET	DESCRIPTION
1	Egan Ave.	Southside from Peel Street 65 metres easterly, from 8:00am to 4:00pm, Monday to Friday, inclusive, September to June, School buses excepted.
2	Egan Ave.	Southside between King St. and James St. North
3	Park St.	Both sides from Water St. South to Thomas St.
4	Park St.	Both sides from Church St. South to Peel St. South
5	Lindsay Atkinson Dr.	Northbound and southbound from Maxwell St. to the south end of Lindsay Atkinson Drive.
6	Maxwell St.	North side of Maxwell St. from James St. South to Huron St. from 8:00am to 4:00pm, Monday to Friday, inclusive, September to June.
7	Peel St.	East side from Egan Avenue to 55 metres south, from 8:00am to 4:00pm, Monday to Friday inclusive, September to June, except school buses.

Schedule 6

ONE-WAY TRAFFIC

1. One-way Traffic only on path commonly known as Veterans Circle (Milt Dunnell Field - "The Flats").
2. One-way Traffic only on Jardine Street – westbound from Wellington Street to Water Street.
3. One-way Traffic Southbound only on west side of Stoneridge Boulevard median from Southvale Road to a point 190 metres south easterly.
4. One-way Traffic Northbound only on east side of Stoneridge Boulevard median from Southvale Road to a point 190 metres south easterly.

Schedule 7

REDUCED SPEED LIMIT

1. All speed limits within the Corporation of the Town of St. Marys shall be 50 km/hr, with the exception of the following:
 - a. Speed limit along Egan Avenue from James Street North to Wellington Street North shall be 40 km/hr;
 - b. Speed limit along Maxwell Street from James Street South to Huron Street shall be 40 km/hr;
 - c. Speed limit along Thomas Street from Town Limits to Queen Street West shall be 40 km/hr;
 - d. Speed limit along Wellington Street South from Park Street to Jones Street East shall be 40 km/hr;
 - e. Speed limit along Emily Street from Glass Street to Water Street North shall be 40 km/hr;
 - f. Speed limit within any park or playground including Veterans Circle (Milt Dunnell Field) shall be 20 km/hr.

School Zones

- a. Speed limit along James Street South at the northerly entrance /exit of the school to 150 metres north, and at the southerly entrance / exit of the school to 150 metres south shall be 40 km/h Monday to Friday, between 8:00am to 4:00pm, from September to June.

Schedule 8

COMMUNITY SAFETY ZONE

1. James St. South from Elgin St. to southerly entrance to the Pyramid Recreation Centre
2. Thomas St. from Town limits to Queen St. West
3. Wellington St. South from Park St. to Jones St. East

Schedule 9

HEAVY VEHICLE ROUTE

No person shall operate a Heavy Vehicle on any Highway within the Municipality, other than:

Carling St.

Church St. North between Queen St. and Station St.

Church St. South between Queen St. & Jones St.

Elizabeth St. between James St. & King St.

Emily St.

Glass St.

Industrial Rd.

James St. North between Station St. & Town Limits

James St. South

King St. South between Elizabeth St. & Park St.

Park St. between King St. & Thomas St.

Parkview Dr.

Queen St.

Samuel St.

South Service Rd.

Station St.

Thames Rd.

Thomas St.

Victoria St. between James St. & C.N. Railway

Water St. North between Emily St. & Parkview Dr.

Water St. South

Wellington St. North between Queen St. & Station St.

Wellington St. South between Park St. & Queen St.

TIME LIMITATIONS

Thomas Street from 44 metres north of the St. Marys Cement conveyor belt to Queen Street West – except during the hours of 6:00pm to 7:00am, seven days a week and every month of the year.

Schedule 10

NO PARKING

	STREET	NO PARKING
1	Ann St.	Westside from Queen St. to 75 metres north.
2	Church St North	Eastside from Widder St. to Egan Ave.
3	Church St. North	Eastside from Queen St. to 30 metres northerly to permit police services parking only
4	Church St. North	Both sides between Widder Street East and to a point 3 meters south of the Church St. Bridge
5	Church St. South	Westside from Jones St. to Elizabeth St.
6	Church St. South	Westside from Queen Street to Elizabeth St.
7	Church St. South	Eastside from Elizabeth St. to Cement Plant Property
8	Church St. South	East side from Jones Street to 16.5 metres southerly
9	Egan Ave.	Southside from Peel St. to Wellington St.
10	Egan Ave.	Southside between King & James St.
11	Egan Ave.	Northside & Southside from Peel St. to King St.
12	Egan Ave.	Southside from Peel St. 50 metres easterly, from 8:00 a.m. to 4:00 p.m., Monday to Friday, inclusive, September to June. School buses to be excluded
13	Elgin St. East	Southside between Church Street South and James Street South
14	Emily St.	East & Westside for 40m within Emily St. sewage lift station frontage on Emily St.
15	Glass St.	Northside Glass Street from 160 metres east of James Street North to Guest Court.
16	Huron St. South	Eastside of Huron Street South from the north curb line of Maxwell Street to 50 metres northward.
17	Huron St. South	Westside from Queen St. to Maxwell St. & eastside from Queen St. to Sparling Cres.
18	Ingersoll St.	Eastside from Queen St. to Maiden Lane

	STREET	NO PARKING
19	James St. North	Eastside & Westside from Widder St. to Northly Limits
20	James St. South	Eastside & Westside from Queen St. to southerly limits.
21	Jardine St.	Southside
22	Jones St. East	Southside from Wellington St. to Church St.
23	Jones St. East	Northside from Peel St. to Wellington St. except for two parking spaces, Wellington St. to Post Office exit.
24	Jones St. East	Northside from Water St. to 14 metres west.
25	Jones St. East	Northside from St. George Street South to 21 metres easterly
26	Jones St. West	Southside from Warner St. to Salina St. South
27	King St. South	Westside from Queen St. to Jones St.
28	King St. North	Westside from Queen St. to Timms Lane
29	Lindsay Atkinson Dr.	Northbound and southbound from Maxwell Street to the south end of Lindsay Atkinson Drive.
30	Maxwell St.	Northside of Maxwell Street from James Street South to Southvale Rd.,
31	Maxwell St.	Southside of Maxwell Street from the west curb line of Huron Street south to 85 metres westerly.
32	Maiden Lane	North and Southside between Salina St. & Ingersoll St.
33	Ontario St.	Eastside from Park Lane to Elgin St.
34	Park St.	Southside & Northside from Thomas St. to Elizabeth.
35	Parkview Dr.	Northside & Southside
36	Peel St. South	Westside from Queen St. to Jones St.
37	Peel St. South	Eastside from Queen St. to 25m southerly
38	Peel St. North	Westside from Queen St. to Timms Lane.
39	Peel St North	Eastside from Widder St. to Catholic Church.
40	Peel St. North	Eastside from Egan Ave. to 55 metres south, from 8:00 a.m. to 4:00 p.m., Monday to Friday, inclusive, September to June.

	STREET	NO PARKING
41	Queen St.	Northside & Southside from easterly limits to westerly limits. Except as allowed by Designated Parking Spaces.
42	Queen St. East	Northside, from east of Tim Horton's entrance/exit to 7m easterly
43	Robinson St.	Westside from Maiden Lane to Queen St.
44	Rogers Ave.	North and South side Huron Street westerly to end at DCVI Parking lot, from 8:00 a.m. to 4:00 p.m., Monday to Friday, inclusive, September to June.
45	Salina St. North	Westside from entrance to St. Marys Memorial Hospital to Queen St.
46	Southvale Rd.	Northside from a point 77 metres east of James Street South to Trillium Crescent
47	St. Andrew St. North	Westside from Queen St. to 45 metres north.
48	St. George St. South	Westside between Jones Street East and Elgin Street East
49	St. George St. North	East & Westside from Timms Ln. to Walking bridge for emergency operating authority access to Well #1
50	Station St.	North side & Southside from Widder St. to Wellington St.
51	Station St.	Northside from Widder St. to Wellington St.
52	Station St.	Southside from Church St to Widder St.
53	Thomas St.	Westside from Queen St. to Park St.
54	Thomas St.	Eastside from Park St. to 30 metres north.
55	Thomas St.	East & Westside for 180m within Waste Water Treatment Plant frontage on Thomas St.
56	Timms Lane	Northside and Southside from King St. to Peel St.
57	Trafalgar St.	Southside of Trafalgar Street between Tracy Street and the GEXR railway lands.
58	Victoria St.	South side of Victoria Street between George Street and the GEXR railway lands.
59	Victoria St	East & Westside from GEXR railway lanes to 30m easterly for operating authority access to Water Tower.

	STREET	NO PARKING
60	Water St. South	East & Westside from Jones St. to southerly limit.
61	Water St. North	Eastside from Parkview Dr. to 17 metres north
62	Wellington St. North	Eastside from Station St. to Egan Ave.
63	Wellington St. South	Eastside from Elgin St. to St. Maria St.
64	Wellington St. South	Eastside from Jones St. to 12 metres north.
65	Widder St. East	Northside from Peel Street north to Water Street North. Exemption applies to funeral hearse only.

Schedule 11

USE OF SIDEWALKS AND INTERSECTIONS

ON-STREET THREE-HOUR PARKING

1. Queen Street East from Peel Street to Water Street
2. Water Street from Water Street Bridge at Trout Creek to Jones Street East
3. Church Street from Church Street Bridge at Trout Creek to Jones Street East
4. Jones Street East from Wellington Street South to Water Street South
5. Wellington Street from Wellington Street Bridge at Trout Creek to Elgin Street East

Schedule 12

ON-STREET ACCESSIBLE PARKING

	STREET	INTERSECTION	SIDE	LOCATION
1	Queen St.	Queen St. & Church St.	North	The fifth parking space from the north-east corner of this intersection
2	Church St.	Church St. & Queen St.	West	The first parking space on the north-west corner of this intersection
3	Wellington St.	Wellington St. & Queen St.	West	The first parking space on the south-west corner of this intersection
4	Water St.	Water St. & Queen St.	East	The third parking space on the south-east corner of this intersection
5	Wellington St.	Wellington St. & Jones St.	East	The first parking space on the north-east corner of this intersection
6	Water St.	Water St. & Queen St.	East	The first parking space on the north-east corner of this intersection

Schedule 13
PUBLIC PARKING LOT



1. Station Street and Peel Street North, southeast corner
2. Water Street North and Trout Creek, southwest corner
3. Queen Street East and Water Street South, southwest corner along Thames River
4. Jones Street East between Water Street South and Wellington Street South, south side of Jones Street East
5. Elgin Street East between Water Street South and Wellington Street South, north side of Elgin Street East

6. St. Maria Street, west of Water Street South
7. Water Street South, across from Lind Sportsplex north of tennis courts
8. Water Street South, across from Lind Sportsplex south of tennis courts
9. Water Street South, across from Base Ball Hall of Fame Entrance
 - a. Seasonal Use April 30th to November 1

Schedule 14

FIRE ROUTE

1. A part of that part of 267 Queen Street West, being known as St. Marys Memorial Hospital, described as follows:

A driveway having the following characteristics:

- a. Commencing at the most easterly entrance drive from Queen Street, measuring 6.09 metres in uniform width, and running northerly 27.1 metres, then easterly for 23.7 metres.

2. A part of that part of 940 Queen Street East, known as Stone Willow Inn, described as follows:

A driveway having the following characteristics:

- a. Commencing at the most northerly entrance from Queen Street, measuring 6.09 metres in uniform width, and running southerly 73.3 metres where it splits;
- b. From the point of the split, going east 32.6 metres and 6.09 metres wide ending at the edge of the pavement at the front entrance to the Inn;
- c. Back to the split where it goes east, continuing south 48.2 metres and 6.09 metres wide where it ends at the fenced in area for waste storage.

3. A part of that part of 300 Thomas Street, being known as Westover Inn, described as follows:

A driveway having the following characteristics:

- a. Commencing at the most easterly entrance from Thomas Street, measuring 4.4 metres in uniform width and running southeast 84 metres where it begins to head in a southerly direction;
- b. From the point where it starts south measuring 4.4 metres in uniform width and running 40 metres to the southeast corner of the Westover Manor;
- c. From the southeast corner of the Manor measuring 4.4 metres in uniform width and running in a southwest direction for 88 metres where it splits and continues on for 33.7 metres;
- d. From the split it continues 88.1 metres and 4.4 metres in uniform width, to completely circle the Inn and stops at the originating northeast corner of the Manor.

4. A part of that part of 20 Southvale Road, described as follows:

A driveway having the following characteristics:

- a. Commencing from the most westerly entrance from Southvale Road, measuring 6.4 metres in uniform width and running easterly 133.6 metres to the east exit back onto Southvale Road.

5. A part of that part of 772 Queen Street East, being known as McKinley Hatchery, described as follows:

A driveway having the following characteristics:

- a. Commencing at the most westerly entrance from Industrial Road, measuring 6.096 metres in uniform width and running southeast 17 metres to the southwest corner of the building;
 - b. From the southwest corner of the building measuring 6.096 metres in uniform width and running east 39.5 metres to the southeast corner of the building.
6. A part of that part of 505 James Street South, being known as Solis Mexican Foods Inc., described as follows:

A driveway having the following characteristics:

- a. Commencing from the south entrance off James Street, measuring 6 metres in uniform width running 146 metres;
 - b. From this point at the east side of the lot measuring 6 metres in uniform width running north 80 metres to the north side of the lot;
 - c. From this point at the north side of the lot measuring 6 metres in uniform width running west 146 metres back to the north exit to James Street.
7. A part of that part of 555 Queen Street West, being known as St. Marys Ford Sales Ltd., described as follows:

A driveway having the following characteristics:

- a. Commencing from the east entrance off of Thames Road, measuring 6 metres in uniform width and running east 68 metres;
 - b. From this point at the west side of the lot measuring 6 metres in uniform width it runs south 70 metres to the edge of Queen Street.
8. A part of that part of 515 James Street South, being known as Easy Lift Doors Limited, described as follows:

A driveway having the following characteristics:

- a. Commencing from the north entrance off of James Street, measuring 6 metres in uniform width and running east 127.6 metres to the fire hydrant;
 - b. From the originating point off James Street, measuring 6 metres in uniform width running eastward 66.8 metres;
 - c. From this point measuring 6 metres in uniform width running south 20.3 metres into the main lot of Easy Lift Doors.
9. A part of that part of 25 South Service Road, being known as E. & E. McLaughlin Ltd., described as follows:

A driveway having the following characteristics:

- a. Commencing at the west entrance off of South Service Road measuring 6.01 metres in width and running southwest 53.5 metres to the northwest corner of the building;

- b. From this point it runs south, measuring 6.01 metres in width for a distance of 55 metres;
- c. From this point it runs east, measuring 6.01 metres in width for a distance of 240.2 metres;
- d. From this point it runs north, measuring 6.01 metres in width for a distance of 169.7 metres to the east entrance off of South Service Road.

10. A part of that part of the 317 James Street South, being known as Pyramid Recreation Centre, described as follows:

A driveway having the following characteristics:

- a. Commencing at the most northerly entrance from James Street, measuring 7.1 metres in uniform width and running east 61.1 metres where it splits;
- b. From the point of the split, going northeast 51.1 metres and encompassing the whole paved portion of the Roadway for Motor Vehicle use, ending at the west end vehicle entrance to the arena;
- c. Back to the point of the split it runs southeast, measuring 7.1 metres in uniform width for a distance of 68 metres;
- d. From this distance it runs east, measuring 7.1 metres in uniform width for a distance of 59.3 metres;
- e. From this point it runs south, measuring 7.1 metres in uniform width for a distance of 29 metres;
- f. From this point it runs east, measuring 7.1 metres in uniform width for a distance of 60 metres;
- g. From this point it runs north, measuring 7.1 metres in uniform width for a distance of 56.7 metres;
- h. From this point it runs northeast, measuring 7.1 metres in uniform width for a distance of 52.7 metres;
- i. From this point it runs north, measuring 7.1 metres in uniform width for a distance of 99.5 metres where it exits onto Maxwell Street.

11. A part of that part of 780 Queen Street East, being known as Loblaw Properties Ltd., described as follows:

A driveway having the following characteristics:

- a. Commencing at the west entrance; exit off Queen Street, measuring 6.9 metres in width and running south 203.8 metres;
- b. From this point it runs east measuring 6.9 metres in width for a distance of 105.8 metres;
- c. From this point it runs north measuring 6.9 metres in width for a distance of 75 metres;

- d. From this point it runs west as well as north, measuring 6.9 metres in width it runs west for a distance of 100 metres where it intersects with the west entrance/exit off Queen Street;
 - e. From the originating point in Clause (d) it runs north measuring 6.9 metres in width for a distance of 131:2 metres where it exits onto Queen Street at the eastern entrance/exit.
12. A part of that part of 925 Queen Street East, being known as St. Marys Building Centre Inc., described as follows:
- A driveway having the following characteristics:
- a. Commencing at the east gate on Perth South Road 120, measuring 6.0 metres in width and running west 76 metres;
 - b. From this point measuring 6.0 metres in width it runs south for a distance of 85 metres where it exits onto Queen Street.
13. A part of that part of 475 Water Street South, being known as Canadian Baseball Hall of Fame and Museum, described as follows:
- A driveway having the following characteristics:
- a. Commencing at the Church Street entrance, measuring 6.0 metres in width and running southwest 48 metres.
14. A part of that part of 201 James Street South, being owned by Adriano Paola, described as follows:
- A driveway having the following characteristics:
- a. Commencing at the James Street entrance, measuring 6.0 metres in width and running east 28 metres, ending at most eastern point of 201 James Street South.
15. A part of that part of 304 James Street South, being known as Cascades Canada Inc., described as follows:
- A driveway having the following characteristics:
- a. Commencing at the James Street entrance, measuring 6.0 metres in width and running west 38 metres,
 - b. From this point measuring 6.0 metres in width it runs north for a distance of 112 metres, ending at the fire department standpipe near front entrance.
16. A part of that part of 769 Queen Street East, being known as St. Marys Golf and Country Club, described as follows:
- A driveway having the following characteristics:
- a. Commencing at the most easterly entrance from Queen Street East, measuring 6.0 metres in width and running north 7 metres,
 - b. From this point, measuring 6.0 metres it runs west 90 metres, ending at the most westerly point of the building,

- c. From 7 metres north of Queen Street East, measuring 6.0 metres it runs east 60 metres, ending at the most easterly point of the building.

17. A part of that part of 93 Ann Street, being owned by Heybolt Ontario Ltd., described as follows:

A driveway having the following characteristics:

- a. Commencing at the Ann Street entrance, measuring 6.0 metres in width and running east 47 metres, ending at the most easterly point of the building.

18. A part of that part of 20 Thames Street North, being known as Vanderpol Enterprises Inc., described as follows:

A driveway having the following characteristics:

- a. Commencing at the Thames Street entrance, measuring 6.0 metres in width and running north 20 metres,
- b. From the Thames Street entrance, measuring 6.0 metres in width and running east 50 metres ending at the fire department standpipe.

19. A part of that part of 485 James Street South, being owned by South Ridge Holdings, described as follows:

A driveway having the following characteristics:

- a. Commencing at the James Street entrance, measuring 6.0 metres in width on the south side of the building, heading east 82 metres, ending at most eastern point of the building.

20. A part of that part of 74 Edison Street, being owned by Lang Contracting Company, described as follows:

A driveway having the following characteristics:

- a. Commencing at the Edison Street entrance, measuring 6.0 metres in width and running west 100 metres ending at the James Street entrance.

Schedule 15

LOADING ZONE

	STREET	DESCRIPTION
1	Peel Street South	Eastside, 20 metres from curb at Queen Street East, to 25m southerly

Schedule 16

SCHOOL BUS LOADING ZONE

Egan Ave., Southside from Peel Street 65 metres easterly

Peel St., Eastside from Egan Street 56 metres southerly

Lindsay Atkinson Boulevard, East side at 60m south of Maxwell Street for 10m southerly

Schedule 17
DESIGNATED PERMIT ONLY PARKING LOTS



1. Water St. North for residents of Water St. N by permit only

Penalties of Infraction

Part I: Provincial Offences Act

Item	Short Form Wording	Provision creating or defining offence	Set Fine
1	Display unauthorized device, sign or marking upon any Highway	2.1.(3)	\$30.00
2	Unauthorized removal of sign, signal marking or device	2.1.(5)	\$30.00
3	Unauthorized attempt to direct traffic	2.1.(6)	\$30.00
4	Unauthorized use of sidewalk	2.2.(1)	\$30.00
5	Rode bicycle on sidewalk in unauthorized area	2.2.(3)	\$30.00
6	Used skateboard, roller skates or in-line skates in unauthorized area	2.2.(5)	\$30.00
7	Made a prohibited turn	2.3.(2)	\$30.00
8	Obstructed a highway	2.5.(1)	\$30.00
9	Fail to remove vehicle when requested to do so	2.5.(2)	\$30.00
10	Unauthorized use of engine brakes	2.7.(1)	\$30.00
11	Unauthorized use of highway when roped, barricaded or marked	2.7.(2)	\$30.00
12	Tracked mud or debris upon highway	2.7.(3)	\$30.00
13	Unauthorized use of sidewalk or boulevard by a motorized snow vehicle	2.8.(1)	\$30.00
14	Drove motorized snow vehicle between 10:00pm and 7:00am	2.8.(2)	\$30.00
15	Drove motorized snow vehicle in cemetery	2.8.(3)	\$30.00
16	Drove motorized snow vehicle on parkland	2.8.(4)	\$30.00
17	Operated heavy vehicle on unauthorized highway	2.11.(1)	\$30.00

The Corporation of the Town of St. Marys
Schedule A – By-law 58- 2018
Being a By-law to Regulate Traffic and Parking

18	Operated heavy vehicle on highway within time limitation	2.11.(4)	\$30.00
19	Unauthorized blocking or closing of highway	2.12.(1)	\$30.00
20	Operate vehicle in excess of posted load limit	2.14.(1)	\$30.00
21	Display expired designated parking permit	3.6.(4)	\$30.00
22	Use designated parking permit other than for approved location	3.6.(6)	\$30.00
23	Move a fire route sign	3.7.(6)	\$75.00
24	Erect a non-approved fire route sign	3.7.(7)	\$75.00
25	Permit garbage, debris or discarded material to accumulate on the boulevard	4.1.(1)	\$30.00
26	Place an encroachment within 45 cm	4.1.(2)	\$30.00
27	Permit grass to grow more than 10 cm	4.2.(1)(a)	\$30.00
28	Permit brush or noxious weeds	4.2.(1)(b)	\$30.00
29	Contravene an order to discontinue activity	4.5.(2)	\$300.00

NOTE: The penalty provisions for the offences listed above is Section 8.1 of by-law 58-2018, a certified copy of which has been filed.

Penalties of Infraction

Part II: Provincial Offences Act

Item	Short Form	Provision creating or defining offence	Voluntary payment within 5 days	Set Fine
1	Stopped in a no stopping area	2.4.(2)	\$20.00	\$30.00
2	Parked with left wheel to curb	3.1.(2)	\$20.00	\$30.00
3	Parked on a sidewalk	3.1.(3)a)	\$20.00	\$30.00
4	Parked between sidewalk and roadway	3.1.(3)b)	\$20.00	\$30.00
5	Parked on a boulevard	3.1.(3)c)	\$20.00	\$30.00
6	Parked in front of driveway	3.1.(3)d)	\$20.00	\$30.00
7	Parked in an intersection	3.1.(3)e)	\$20.00	\$30.00
8	Parked on a crosswalk	3.1.(3)f)	\$20.00	\$30.00
9	Parked within 6 metres of crosswalk	3.1.(3)g)	\$20.00	\$30.00
10	Parked within 3 metres of fire hydrant	3.1.(3)h)	\$20.00	\$30.00
11	Parked within 10 metres of an intersection	3.1.(3)i)	\$20.00	\$30.00
12	Parked within 9 metres of a bridge or curve	3.1.(3)j)	\$20.00	\$30.00
13	Parked within 16 metres of an overpass	3.1.(3)k)	\$20.00	\$30.00
14	Parked within 4 metres of railway tracks	3.1.(3)l)	\$20.00	\$30.00
15	Obstructing traffic while parked	3.1.(3)m)	\$20.00	\$30.00
16	Parked too close to other vehicle	3.1.(3)n)	\$20.00	\$30.00
17	Parked 2:00am to 6:00am on a Highway – November 1 to April 30th	3.1.(3)o)	\$20.00	\$30.00

The Corporation of the Town of St. Marys
Schedule B – By-law 58-2018
Being a By-law to Regulate Traffic and Parking

18	Parked on Highway for more than 72hrs from May 1 until October 31	3.1.(3)p)	\$20.00	\$30.00
19	Parked 2:00am to 5:00am in a municipal parking lot	3.1.(3)q)	\$20.00	\$30.00
20	Parked with trailer attached between 9pm and 6am	3.1.(3)r)	\$20.00	\$30.00
21	Parked for the purpose of repairing vehicle on highway	3.1.(3)s)	\$20.00	\$30.00
22	Parked for purpose of advertising for sale	3.1.(3)t)	\$20.00	\$30.00
23	Parked on municipal property without authority	3.1.(4)	\$20.00	\$30.00
24	Inoperative Vehicle parked without authority on highway	3.1.5	\$20.00	\$30.00
25	Occupying recreational vehicle as dwelling or sleeping place on highway	3.1.6	\$20.00	\$30.00
26	Parked in a no parking area	3.2.(2)	\$20.00	\$30.00
27	Parked more than 3 hours	3.2.(4)	\$20.00	\$30.00
28	Parked downtown between 2:00am and 6:00am	3.2.(5)	\$20.00	\$30.00
29	Parked in a public parking lot – heavy vehicle	3.3.(1)	\$20.00	\$30.00
30	Parked in a municipal facility parking lot – heavy vehicle	3.3.(2)	\$20.00	\$30.00
31	Parked on a highway – heavy vehicle	3.3.(3)	\$20.00	\$30.00
32	Parked in Municipal Parking without permit between 2am and 6am	3.5.(2)	\$20.00	\$30.00
33	Parked in municipal parking lot for more than 8 hours	3.5.(3)	\$20.00	\$30.00
34	Heavy Vehicle parked in municipal parking lot	3.5.(4)	\$20.00	\$30.00
35	Parked in municipal parking lot for the purposed of repairs, oiling or greasing	3.5.(5)	\$20.00	\$30.00
36	Inoperative Vehicle or detached trailer parked in municipal parking lot	3.5.(6)	\$20.00	\$30.00
37	Parked in municipal lot without valid permit	3.5.(7)	\$20.00	\$30.00
38	Parked in a fire route	3.7.(5)	n/a	\$300.00
39	Stand in a fire route	3.7.(5)	n/a	\$300.00
40	Stopped in a no loading zone	3.9.(2)	\$20.00	\$30.00

The Corporation of the Town of St. Marys
Schedule B – By-law 58-2018
Being a By-law to Regulate Traffic and Parking

41	Stand in a no loading zone	3.9.(2)	\$20.00	\$30.00
42	Parked in a loading zone	3.9.(3)	\$20.00	\$30.00
43	Parked in a school bus loading zone	3.10.(3)	\$20.00	\$30.00
44	Parked as a dwelling in a municipal facility parking lot	3.12.(1)	\$20.00	\$30.00
45	Parked as a dwelling in a public parking lot	3.12.(1)	\$20.00	\$30.00
46	Parked as a dwelling in a municipal park	3.12.(1)	\$20.00	\$30.00
47	Parked in designated accessible parking	3.4.(2)	n/a	\$300.00
48	Stand in a designated accessible parking	3.4.(2)	n/a	\$300.00
49	Stopped in a designated accessible parking	3.4.(2)	n/a	\$300.00

NOTE: The general penalty provision for the offences listed above is Section 8.1 of by-law 58-2018, a certified copy of which has been filed.

BY-LAW 59-2018

THE CORPORATION OF THE TOWN OF ST. MARYS

Being a By-law to authorize a site plan agreement between The Corporation of the Town of St. Marys and Rick Murphy Holdings Ltd.

WHEREAS: Rick Murphy Holdings Ltd. intends to develop, under site plan agreement, the lands legally described as as Lots 14, 15, 16, 17, 18, 19 & 20 West Side Thomas Street, Plan 235, St. Marys; Lots 16, 17, 18, 19 & 20 East Side Ontario Street, Plan 235, St. Marys; save and except Part 1 on Reference Plan 44R-5423; S/T R151468, St. Marys and having the municipal address of 121 Ontario Street South;

AND WHEREAS: The Corporation of the Town of St. Marys deems it expedient to enter into a site plan agreement (the "Agreement") with Rick Murphy Holdings Ltd. for the purpose of clarifying and delineating the respective rights, obligations, payments and billing arrangements of and for the delivery of the site plan development;

THEREFORE: The Council of The Corporation of the Town of St. Marys hereby enacts as follows:

- 1.** That the Mayor and CAO / Clerk are hereby authorized to execute an Agreement on behalf of The Corporation of the Town of St. Marys between The Corporation of the Town of St. Marys and Rick Murphy Holdings Ltd.
- 2.** That a copy of the said Agreement is attached hereto this By-law, and to affix the corporate seal of the Corporation of the Town of St. Marys.
- 3.** Enactment of this By-law shall be deemed to be authorized to the solicitor for the Town to register same in the appropriate Land Registry Office, without further written authorization.
- 4.** This by-law comes into force and takes effect on the final passing thereof.

Read a first and second time this 12th day of June, 2018.

Read a third and final time and passed this 12th day of June, 2018.

Mayor Al Strathdee

Brent Kittmer, CAO / Clerk

BY-LAW 60-2018

THE CORPORATION OF THE TOWN OF ST. MARYS

Being a By-law to adopt the Video Surveillance Policy for the Town of St. Marys.

WHEREAS: The Council of the Corporation of the Town of St. Marys deems it expedient to approve the Town of St. Marys Video Surveillance Policy;

THEREFORE: The Council of the Corporation of the Town of St. Marys enacts:

- 1.** That the Town of St. Marys Video Surveillance Policy is hereby approved.
- 2.** This by-law comes into force on the final passing thereof.

Read a first and second time this 12th day of June, 2018.

Read a third and final time and passed this 12th day of June, 2018.

Mayor Al Stratthdee

Brent Kittmer, CAO / Clerk

THE CORPORATION OF THE TOWN OF ST. MARYS

BY-LAW NO. Z126-2018

Being a By-law pursuant to the provisions of Section 36 of the Planning Act to amend By-law No. Z1-1997, as amended, which may be cited as “The Zoning By-law of the Town of St. Marys”, to remove holding symbols affecting lands located on 247, 243 and 239 Emily Street (Lots 30, 31 and 32, Registered Plan 44M-64).

WHEREAS the Council of the Corporation of the Town of St. Marys deems it necessary in the public interest to pass a By-law to amend By-law No. Z1-1997, as amended;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF ST. MARYS ENACTS AS FOLLOWS:

1. The area shown in hatching on the attached map, Schedule “A”, and described as Lots 30, 31 and 32, Registered Plan 44M-64 in the Town of St. Marys shall be removed from the “Residential Zone Three (R3-11-H₃)” of By-law No. Z1-1997 and shall be placed in the “Residential Zone Three (R3-11)” of By-law No. Z1-1997. The zoning of this land shall be shown as “R3-11” on Key Map 2 of Schedule “A” to By-law No. Z1-1997, as amended.
2. Schedule “A”, attached hereto, shall form part of this By-law.
3. All other provisions of By-law No. Z1-1997, as amended, shall apply.
4. The Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law in accordance with the Planning Act, as amended, and to Regulations thereunder.
5. This By-law shall come into force on the day it was passed pursuant to the Planning Act, and to the Regulations thereunder.

Read a first and second time this 12th day of June, 2018.

Read a third and final time and passed this 12th day of June, 2018.

Mayor Al Stratthdee

Brent Kittmer, CAO / Clerk

THIS IS SCHEDULE “A”

TO BY-LAW NO. Z126-2018

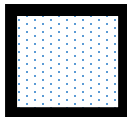
OF THE CORPORATION OF THE TOWN OF ST. MARYS

PASSED THIS 12TH DAY OF June, 2018

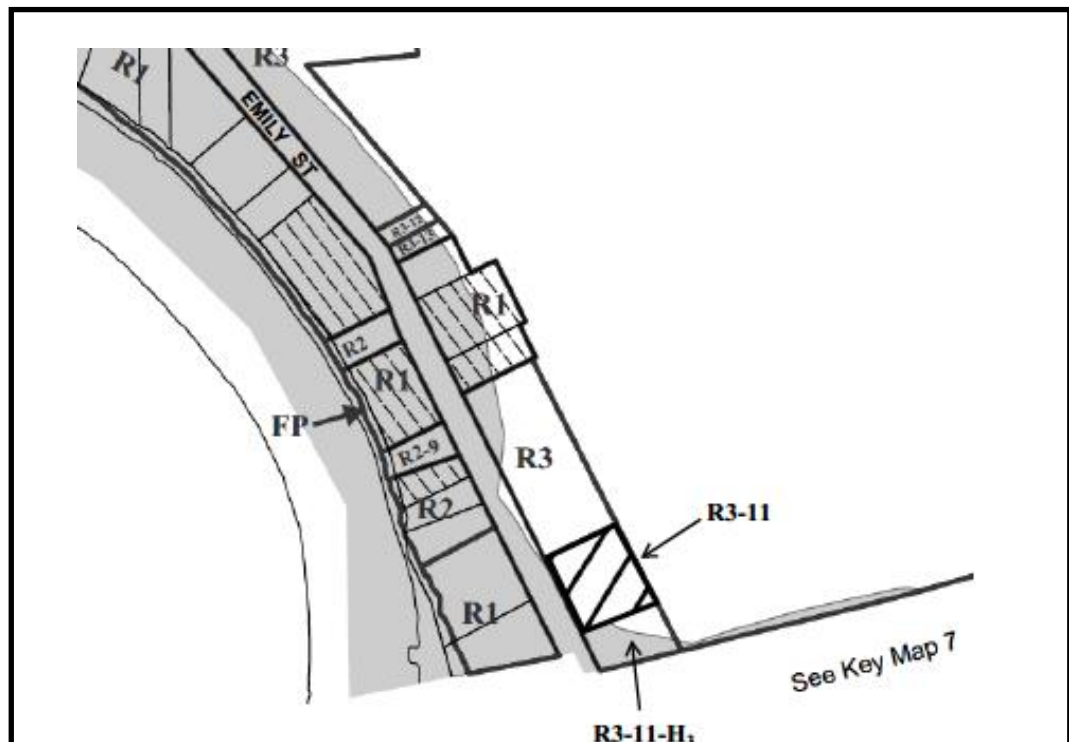
Al Strathdee, Mayor

Brent Kittmer, CAO-Clerk

AREA AFFECTED BY THIS BY-LAW



Remove from the “Residential Zone Three (R3-11-H₃)” of By-law No. Z1-1997, and placed in the “Residential Zone Three (R3-11)” of By-law No. Z1-1997.



BY-LAW 61-2018

THE CORPORATION OF THE TOWN OF ST. MARYS

Being a By-law to confirm all actions and proceedings of the Council of The Corporation of the Town of St. Marys at its regular meeting held on June 12, 2018.

WHEREAS: The *Municipal Act, 2001*, S.O. 2001, c.25, as amended, Section 5(3), provides that the jurisdiction of every council is confined to the municipality that it represents and its powers shall be exercised by by-law;

AND WHEREAS: The Council of the Corporation of the Town of St. Marys deems it expedient to confirm its actions and proceedings;

THEREFORE: The Council of the Town of St. Marys enacts:

1. That all actions and proceedings of the Council of the Corporation of the Town of St. Marys taken at its regular meeting held on the 12th day of June, 2018 except those taken by by-law and those required by by-law to be done by resolution are hereby sanctioned, ratified and confirmed as though set out within and forming part of this by-law.
2. This by-law comes into force on the final passing thereof.

Read a first and second time this 12th day of June, 2018.

Read a third and final time and passed this 12th day of June, 2018.

Mayor Al Strathee

Brent Kittmer, CAO / Clerk